

**76-O-24**

**AN ORDINANCE**

**Amending Ordinance 48-O-23 Amending Condition 16, Section 3  
Screening for Mechanical Equipment**

**WHEREAS**, the City of Evanston is a home-rule municipality pursuant to Article VII of the Illinois Constitution of 1970; and

**WHEREAS**, as a home rule unit of government, the City has the authority to adopt legislation and to promulgate rules and regulations that protect the public health, safety, and welfare of its residents; and

**WHEREAS**, Article VII, Section 6(a) of the Illinois Constitution of 1970, states that the “powers and functions of home rule units shall be construed liberally,” was written “with the intention that home rule unit be given the broadest powers possible” (*Scadron v. City of Des Plaines*, 153 Ill.2d 164, 174-75 (1992)); and

**WHEREAS**, it is a well-established proposition under all applicable case law that the power to regulate land use through zoning regulations is a legitimate means of promoting the public health, safety, and welfare; and,

**WHEREAS**, Division 13 of the Illinois Municipal Code (65 ILCS 5/11-13-1, *et seq.*) grants each municipality the power to establish zoning regulations; and,

**WHEREAS**, pursuant to its home rule authority and the Illinois Municipal Code, the City has adopted a set of zoning regulations, set forth in Title 6 of the Evanston City Code of 2012, as amended (“the Zoning Ordinance”); and

**WHEREAS**, Ordinance 48-O-23, Granting Major Variations to allow a K-8 Education Institution-Public on Property Located at 2000 Simpson Street in the OS

Open Space District was previously approved and adopted by the Evanston City Council on May 22, 2023, and

**WHEREAS**, Ordinance 48-O-23 states, “[t]he City Council may, for good cause shown, waive or modify any conditions set forth in this Ordinance without requiring that matter return for public hearing”, and

**WHEREAS**, the Applicant requests an amendment to condition 16, Section 3 of Ordinance 48-O-23 to only require screening for mechanical equipment on the roof if the equipment is observable from the public way and/or exceeds City building code M1309.1 regarding noise limitations, and

**WHEREAS**, the above referenced amendment to Ordinance 48-O-23 will expand the rooftop solar array of the building and improve the integrity of the roof of the building, and

**WHEREAS**, the Evanston City Council finds that it is in the best interest of the City of Evanston to amend condition 16, Section 3 of Ordinance 48-O-23.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF EVANSTON, COOK COUNTY, ILLINOIS, THAT:**

**SECTION 1:** The foregoing recitals are found as fact and incorporated herein by reference.

**SECTION 2:** Condition 16, Section 3 of Ordinance 48-O-23 is hereby amended as follows:

16. Mechanical equipment observable from the public way and/or exceeds City Building Code M1309.1 regarding noise limitations, is screened and designed to minimize noise impacts to the surrounding neighborhood.

**SECTION 3:** If any provision of this ordinance or application thereof to any person or circumstance is held unconstitutional or otherwise invalid, such invalidity shall not affect other provisions or applications of this ordinance that can be given effect without the invalid application or provision, and each invalid provision or invalid application of this ordinance is severable.

**SECTION 4:** This ordinance shall be in full force and effect from and after its passage, approval, and publication in the manner provided by law.

**SECTION 5:** All ordinances or parts of ordinances in conflict herewith are hereby repealed.

**SECTION 7:** The findings and recitals contained herein are declared to be prima facie evidence of the law of the City and shall be received in evidence as provided by the Illinois Compiled Statutes and the courts of the State of Illinois.

Introduced: September 09, 2024

Approved:

Adopted: September 09, 2024

September 09, 2024

*Daniel Biss*

\_\_\_\_\_  
Daniel Biss, Mayor

Attest:

*Stephanie Mendoza*

\_\_\_\_\_  
Stephanie Mendoza, City Clerk

Approved as to form:

*Alexandra B. Ruggie*

\_\_\_\_\_  
Alexandra B. Ruggie, Corporation Counsel

**48-O-23**

**AN ORDINANCE**

**Granting Major Variations to allow a K-8 Education Institution- Public on Property Located at 2000 Simpson Street in the OS Open Space District**

**WHEREAS**, the City of Evanston is a home-rule municipality pursuant to Article VII of the Illinois Constitution of 1970; and

**WHEREAS**, as a home rule unit of government, the City has the authority to adopt legislation and to promulgate rules and regulations that protect the public health, safety, and welfare of its residents; and

**WHEREAS**, Article VII, Section 6(a) of the Illinois Constitution of 1970, states that the “powers and functions of home rule units shall be construed liberally,” was written “with the intention that home rule unit be given the broadest powers possible” (*Scadron v. City of Des Plaines*, 153 Ill.2d 164, 174-75 (1992)); and

**WHEREAS**, it is a well-established proposition under all applicable case law that the power to regulate land use through zoning regulations is a legitimate means of promoting the public health, safety, and welfare; and,

**WHEREAS**, Division 13 of the Illinois Municipal Code (65 ILCS 5/11-13-1, *et seq.*) grants each municipality the power to establish zoning regulations; and,

**WHEREAS**, pursuant to its home rule authority and the Illinois Municipal Code, the City has adopted a set of zoning regulations, set forth in Title 6 of the Evanston City Code of 2012, as amended (“the Zoning Ordinance”); and

**WHEREAS**, Alex Lopez of Cordogan Clark Architects, is the architect for the owner of the property commonly known as 2000 Simpson Street, legally described

herein (“Subject Property”), attached hereto and incorporated herein by reference as Exhibit “A”; and

**WHEREAS**, Alex Lopez (“Applicant”), has petitioned the City Council of the City of Evanston, for approval of a five Major Variations from of the Zoning Ordinance (“Variations”) 1) Floor Area Ratio (FAR) of .62 where the maximum is 0.15, 2) Proposed height of 3 stories at 55 ft. where 2.5 stories or 35 ft. is maximum, 3) Open parking location within the front yard, 4) Loading area located in the required front yard, and 5) Loading area dimension (10 X 35) that is located within the drive aisle width of the parking lot, in accordance with Section 6-3-8-10 of the Zoning Ordinance in order to construct a three (3) story kindergarten through 8th grade, educational institution - public with a playing field and 83 on-site parking spaces and on the Subject Property; and

**WHEREAS**, following due and proper publication of notice in the Evanston Review not less than fifteen (15) nor more than thirty (30) days prior thereto, and following written notice to all property owners within 500 feet of the Subject Property, and following the placement of signs on the Subject Property not less than ten (10) days prior thereto, the Evanston Land Use Commission (“LUC”) conducted a public hearing on April 19, 2023 regarding case no. 23ZMJV-0022 to consider the requested Variations at which the Applicant presented evidence, testimony, and exhibits in support of the Variations, and at which 14 persons appeared and provided public comment, and 15 comments were received and distributed to the members of the LUC prior to the public hearing; and

**WHEREAS**, after having considered the evidence presented, including the

exhibits and materials submitted, and public testimony provided, the LUC found that:

- A. The requested Variations will not have a substantial adverse impact on the use, enjoyment, or property values of adjoining properties. The added conditions lessen the impact of the Variations.
- B. The requested Variations are in keeping with the intent of the Zoning Ordinance. The Zoning Ordinance includes schools and there has been a long discussion about a neighborhood school within the 5th Ward. The open space is currently zoned to be built upon with an educational building
- C. The alleged hardship or practical difficulty is peculiar to the property. The open space district has a low build by right which is a practical difficulty, meeting this standard.
- D. The property owner would suffer a particular hardship or practical difficulty as distinguished from a mere inconvenience if the strict letter of the regulations were to be carried out. Looking at the parking, FAR, and two front yards, the strict letter of the regulations could not be carried out to build a school and so the standard is met.
- E. The purpose of the Variations is not based exclusively upon a desire to extract additional income from the property, or while the granting of the variation will result in additional income to the applicant and while the applicant for the variation may not have demonstrated that the application is not based exclusively upon a desire to extract additional income from the property, the Land Use Commission or the City Council, depending on final jurisdiction under Section 6-3-8-2 of the City Code, has found that

public benefits to the surrounding neighborhood and the City as a whole will be derived from approval of the variation, that include, but are not limited to, any of the standards of Section 6-3-6-3 of this Chapter of the City Code. The goal of building a school is not to gain additional income, but to provide a specific public benefit of education, and so the standard is met.

- F. The alleged difficulty or hardship has not been created by any person having an interest in the property. The property has been in district 65 ownership for years and the standard is met.
- G. The requested Variations require the least deviation from the applicable regulation among the feasible options identified before the Land Use Commission issues its decision or recommendation to the City Council regarding said Variation. The applicant has made several program and building reductions, investigated parking alternatives, and including the additional recommended conditions better meets the standard.

**WHEREAS**, after making its findings as set forth herein, the LUC recommended approval of the requested Variations pursuant to Sections 6-3-8-10 and 6-3-8-12 of the Zoning Ordinance by a vote of five (5) “yes” votes and two (2) “no” votes with two (2) absent to the Planning and Development Committee (“P & D Committee”) of the City Council; and

**WHEREAS**, on April 28, 2023, the applicant submitted revised development plans (Exhibit B) to reflect amendments recommended by staff and the Land Use Commission

**WHEREAS**, on May 8, 2023, the P & D Committee held a meeting in compliance with the Illinois Open Meetings Act, received input from the public, carefully considered the findings and recommendation for approval with conditions by the LUC in case no. 23ZMJV-0022 as outlined herein, concurred with said findings and recommended approval of the requested Variations to the City Council with altered conditions as enumerated herein; and

**WHEREAS**, at its meetings on May 8, 2023 and May 22, 2023, held in compliance with the Open Meetings Act and the Zoning Ordinance, the City Council considered the aforementioned findings of fact, as amended and outlined herein, and finds it appropriate to grant the Variations as recommended by the LUC and the P & D Committee; and

**WHEREAS**, it is well-settled law that the legislative judgment of the City Council must be considered presumptively valid (see *Glenview State Bank v. Village of Deerfield*, 213 Ill. App.3d 747) and is not subject to courtroom fact-finding (see *National Paint & Coating Ass'n v. City of Chicago*, 45 F.3d 1124).

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF EVANSTON, COOK COUNTY, ILLINOIS, THAT:**

**SECTION 1:** The foregoing recitals are found as fact and incorporated herein by reference.

**SECTION 2:** Pursuant to the terms and conditions of this ordinance, the City Council hereby approves the Major Variations, as applied for in zoning case no. 23ZMJV-0022 as follows:

1. Floor Area Ratio (FAR) of .62 where the maximum is 0.15.

2. Proposed height of 3 stories at 55 ft. where 2.5 stories or 35 ft. is maximum.
3. Open parking location within the front yard.
4. Loading area located in the required front yard.
5. Loading area dimension (10 X 35) that is located within the drive aisle width of the parking lot.

**SECTION 3:** Pursuant to Subsection 6-3-8-14 of the Code, the City Council hereby imposes the following conditions on the aforementioned zoning relief granted hereby, being Major Variations listed above as requested under zoning case no. 23ZMJV-0022, which may be amended by future ordinance(s), and violation of any of which shall constitute grounds for penalties or revocation of said Major Variations pursuant to Subsections 6-3-10-5 and 6-3-10-6 of the Zoning Ordinance:

1. A Construction Management Plan is required prior to construction to include how restoration of adjacent properties will be accomplished as a result of proposed construction activities.
2. Remove the southernmost lay-by lane shown on the revised plans submitted on April 28, 2023.
3. The School District shall explore LEED Gold certification or equivalent & integrate measures that meet or exceed the City of Evanston's Bird Friendly requirements, as feasible.
4. Building plans submitted to the state for review shall also be submitted to the City for alignment with the approved Variations.
5. A Waste Management Plan is required prior to completion of the school's construction.
6. A Pedestrian and Traffic Circulation Plan shall be provided within 3 months of approval of the project. This plan will be evaluated, amended, and submitted to the City, as necessary, by the School District to address impacts to the neighborhood. Plan should include the following:
  - a. Recommendations included within the Traffic Study provided by KLOA
  - b. Confirmation and City approval of any proposed street closures for pick-up/drop-off times (Ashland Ave, Dewey Ave, etc.)
  - c. Confirmation and City approval of any temporary one-way street designations for streets bordering the site during pick-up/drop-off times
  - d. Use of crossing guards or other staff to direct traffic

7. A robust educational Active Transportation Safety Initiative for students shall be developed to raise student and parent awareness regarding safe pedestrian and bicyclist behaviors. This program should not only teach safety principles but also encourage active transportation through the use of challenges and goal setting. The curriculum and plan shall be submitted for approval at least six months prior to the project completion.
8. Additional parking alternatives should be pursued to support the City's CARP goals. Items to consider:
  - a. The School District could consider increasing incentives to further promote staffers commuting via CTA, Metra and ride share. As stated above, the District has an existing program that enables staff to put money towards transit cards to encourage use of public transit.
  - b. District 65 should regulate their parking lot via a permit program either virtual permit (license plate based) or stickered. This would allow correlation with a transit program. The District intends to regulate parking for teachers in this manner.
  - c. Work with the City to utilize additional parking spaces within the Ecology Center or Civic Center parking lots.
  - d. Parallel parking spaces on Ashland should be very short-term parking. This will allow residents and visitors to use the spaces. A 1 Hour max limit would be our suggestion. In addition, the spaces can disallow parking during certain hours of the day, example: "no parking between 7am-9am / 2pm-4pm Mon-Fri.
9. Should the surrounding community implement residential parking districts (permit parking) in the future, school staff will not be granted residential parking district permits.
10. The Applicant may be required to contract at their own expense with a traffic consultant to study pedestrian and traffic circulation over time and make necessary revisions to the pedestrian and traffic circulation and parking plan if the City identifies pedestrian and/or traffic issues with the development at any time in the future.
11. A Shared Use Agreement is required for City access to the required parking for Fleetwood-Jourdain and the playfield. Signage may be required to designate Fleetwood-Jourdain parking.
12. An easement agreement must be negotiated and approved by the City Council for the City to access the Fleetwood Jourdain maintenance drive on the west side of the parking lot.
13. A pedestrian path must be established through the parking lot.
14. A rodent control plan designed by a certified operator is provided before, during and after construction.
15. Snow removal plan required to be submitted within 6 months of project approval; snow must be stored on-site or hauled away.
16. Mechanical equipment is screened and designed to minimize noise impacts to the surrounding neighborhood.

17. Street light replacement required for all existing lights affected by the pick-up/drop-off areas and construction.
18. Public refuse containers are installed per Public Works standards.
19. Use of grass instead of artificial turf for the playfield.
20. The Applicant shall, at their cost, record a certified copy of this ordinance, including all Exhibits attached hereto, with the Cook County Recorder of Deeds, and provide proof of such recordation to the City prior to the completion of the school's construction.

**SECTION 4:** When necessary to effectuate the terms, conditions, and purposes of this ordinance, "Applicant" shall be read as "Applicant's agents, assigns, and successors in interest."

**SECTION 5:** The City Council may, for good cause shown, waive or modify any conditions set forth in this Ordinance without requiring that the matter return for public hearing.

**SECTION 6:** The building permit plans and subsequent construction shall be consistent with the approvals granted herein, provided that all conditions set forth hereinabove have been met and that the requested construction complies with all other applicable laws and ordinances. This granting of the approvals shall expire and become null and void twenty-four (24) months from the date of passage of this Ordinance unless a building permit to begin construction per this Ordinance is applied for within said twenty-four (24)-month time period and construction is continuously and vigorously pursued provided, however, the City Council, by motion, may extend the period during which permit application, construction, and completion shall take place.

**SECTION 7:** If any provision of this ordinance or application thereof to any person or circumstance is held unconstitutional or otherwise invalid, such invalidity shall not affect other provisions or applications of this ordinance that can be given effect without the invalid application or provision, and each invalid provision or invalid

application of this ordinance is severable.

**SECTION 8:** This ordinance shall be in full force and effect from and after its passage, approval, and publication in the manner provided by law.

**SECTION 9:** All ordinances or parts of ordinances in conflict herewith are hereby repealed.

**SECTION 10:** The findings and recitals contained herein are declared to be prima facie evidence of the law of the City and shall be received in evidence as provided by the Illinois Compiled Statutes and the courts of the State of Illinois.

Introduced: May 8, 2023

Adopted: May 22, 2023

Approved:

May 24, 2023

Daniel Biss  
Daniel Biss, Mayor

Attest:

Stephanie Mendoza  
Stephanie Mendoza, City Clerk

Approved as to form:

Nicholas E. Cummings  
Nicholas E. Cummings, Corporation Counsel

**EXHIBIT A**

**LEGAL DESCRIPTION**

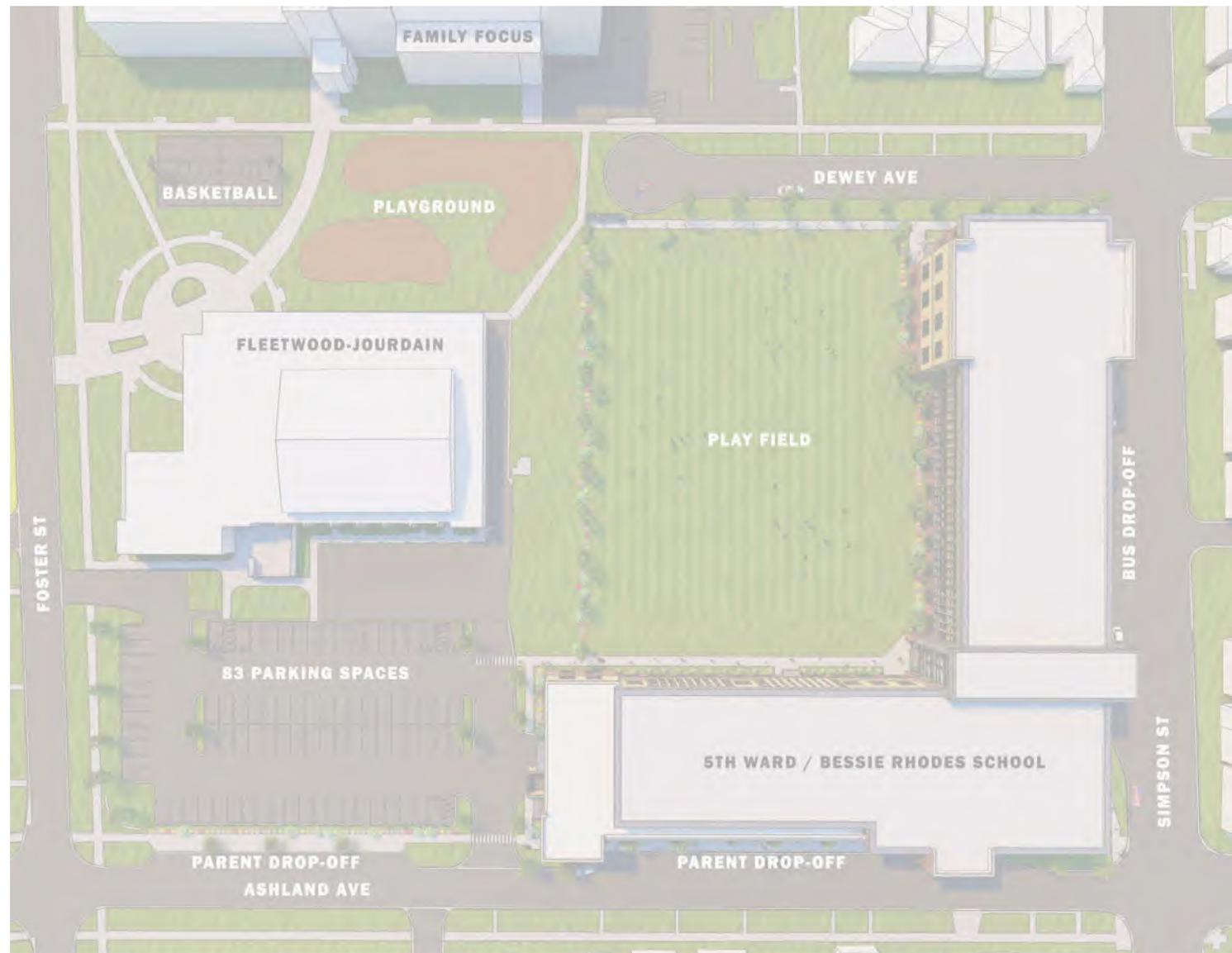
Lot 3 in Foster Field Resubdivision of part of the Northwest  $\frac{1}{4}$  of the Northeast  $\frac{1}{4}$  of Section 13, Township 14 North, Range 13 East of the Third Principal Meridian in Cook County, Illinois, according to the Plat thereof recorded June 13, 1983 as document 26640069.

**Address:** 2000 Simpson Street

**PIN:** 10-13-201-028-0000

EXHIBIT B  
DEVELOPMENT PLAN

# ZONING VARIANCE APPLICATION SUBMITTAL (REV. 1 - 4.28.2023)



- Z0.0 ZONING VARIANCE APPLICATION SUBMITTAL (REV. 1 - 4.28.2023)
- Z1.0 MASTER SITE PLAN
- Z1.1 FIRST FLOOR PLANS
- Z1.2 SECOND FLOOR PLANS
- Z1.3 THIRD FLOOR PLANS
- Z1.5A BUILDING ELEVATIONS
- Z1.5B BUILDING ELEVATIONS
- Z1.5C RENDERED BUILDING ELEVATIONS
- Z1.6 PEDESTRIAN TRAFFIC STUDY
- Z1.7 SITE GEOMETRIC PLAN
- Z1.8 SITE UTILITY PLAN
- Z1.9 CIRCULATION - FIRE TRUCK
- Z1.10 CIRCULATION - DELIVERY TRUCK
- Z1.11 PLAT OF EASEMENT
- Z1.12 BOUNDARY & TOPOGRAPHIC SURVEY
- Z1.13 BOUNDARY & TOPOGRAPHIC SURVEY
- Z1.14 BOUNDARY & TOPOGRAPHIC SURVEY
- Z1.15 BOUNDARY & TOPOGRAPHIC SURVEY
- Z1.16 ELECTRICAL SITE PLAN
- Z1.17 EXTERIOR LIGHTING PHOTOMETRIC
- Z1.18 LANDSCAPE PLAN
- Z1.19 TREE PRESERVATION PLAN
- Z1.20 LANDSCAPE SPECIFICATIONS
- Z2.0 BUILDING RENDERING
- Z2.1 BUILDING RENDERING
- Z2.2 BUILDING RENDERING
- Z2.3 BUILDING RENDERING
- Z2.4 BUILDING RENDERING
- Z2.5 BUILDING RENDERING
- Z2.6 BUILDING RENDERING



## EVANSTON SKOKIE SD65 NEW 5TH WARD SCHOOL

2000 SIMPSON ST

MARCH 27 2023





AREA OF PROPOSED VARIANCE (SCHOOL DISTRICT #65 PROPERTY)

BICYCLE PARKING

FAMILY FOCUS

BASKETBALL

PLAYGROUND

DEWEY AVE

FLEETWOOD-JOURDAIN

PLAY FIELD  
(APPROX. 35,800 SF)

FOSTER ST

83 PARKING SPACES

PARENT DROP-OFF  
ASHLAND AVE

PARENT DROP-OFF

5TH WARD / BESSIE RHODES SCHOOL

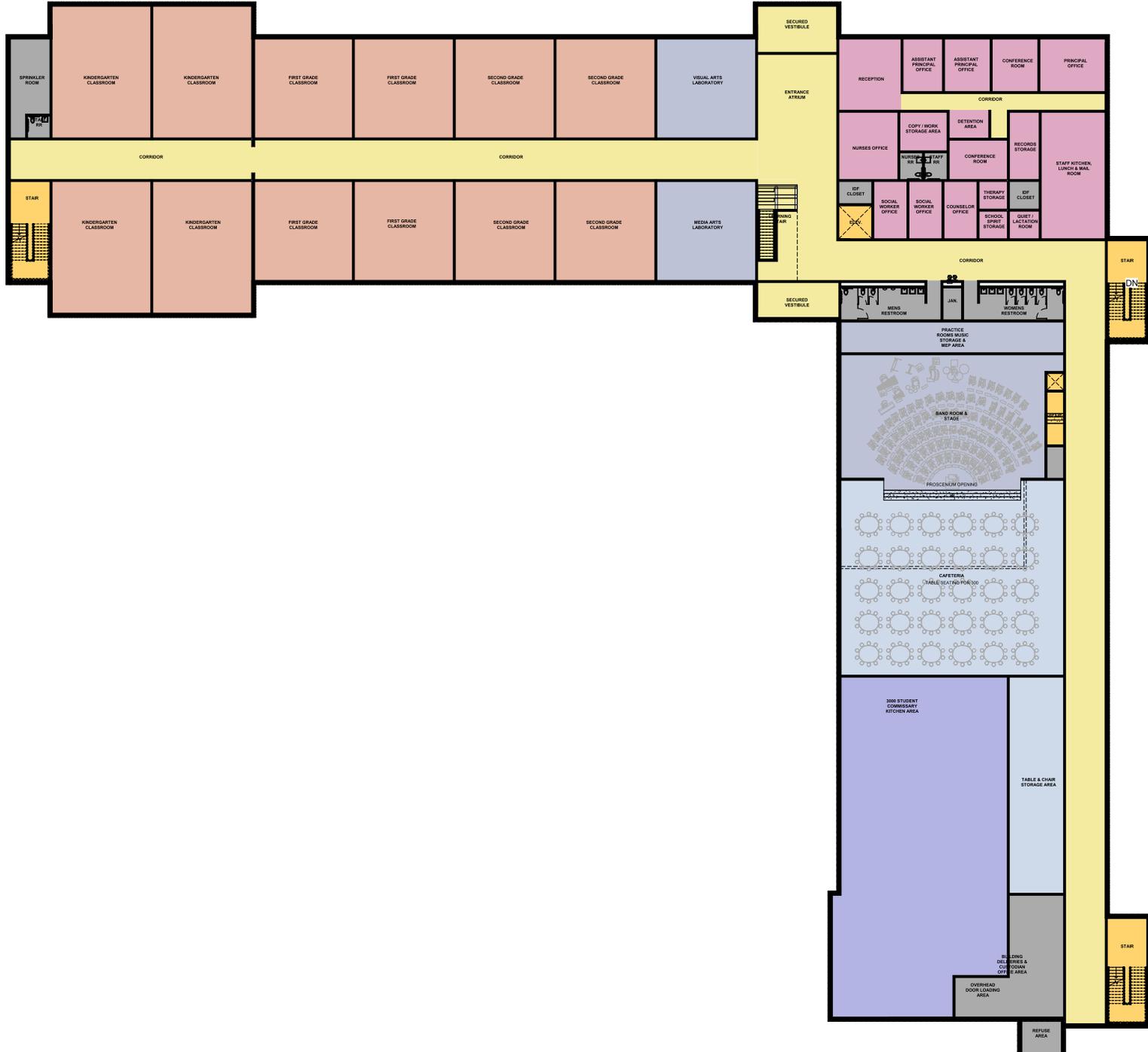
BUS DROP-OFF

SIMPSON ST

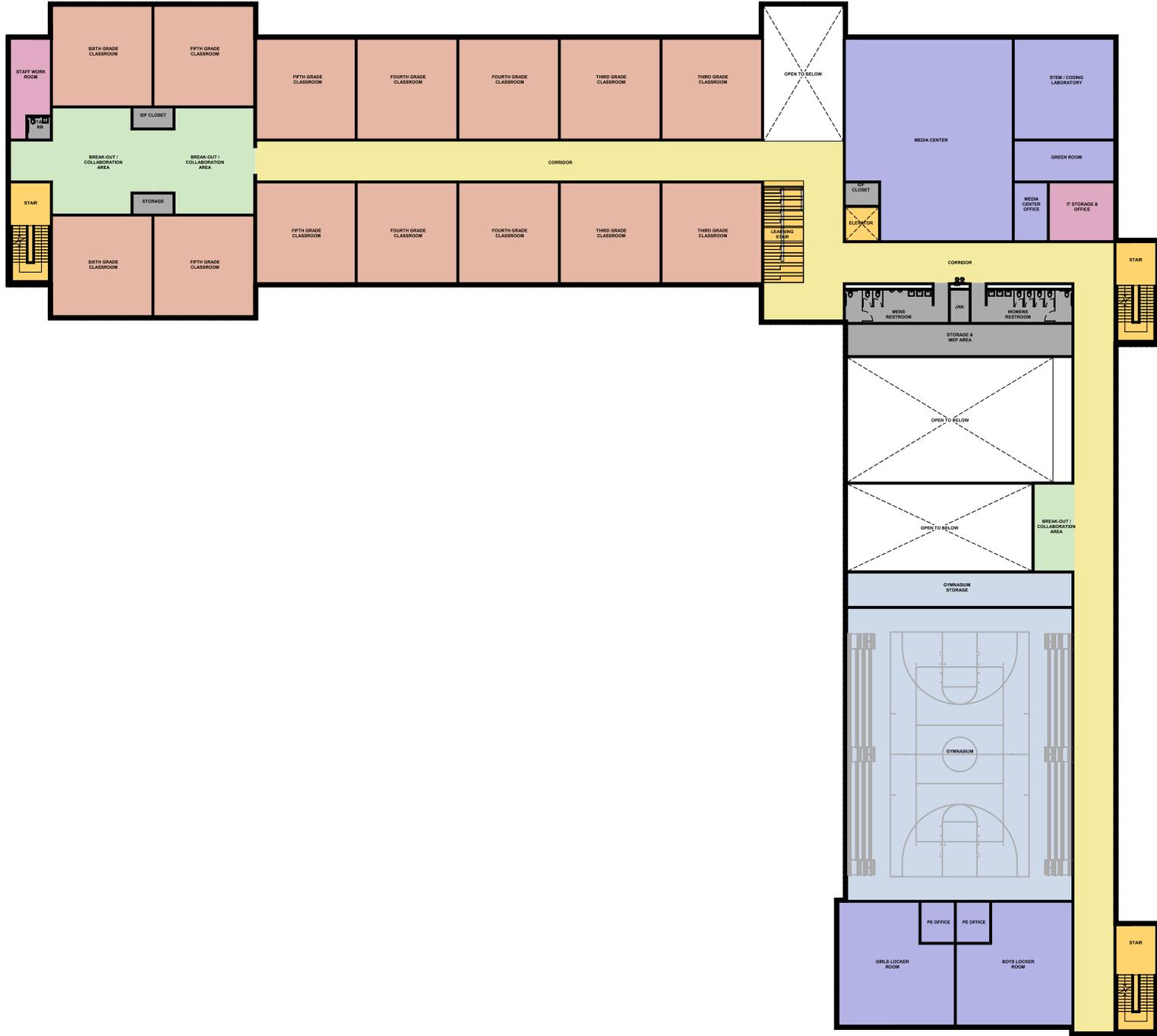
BICYCLE PARKING

NATURAL SCREENING

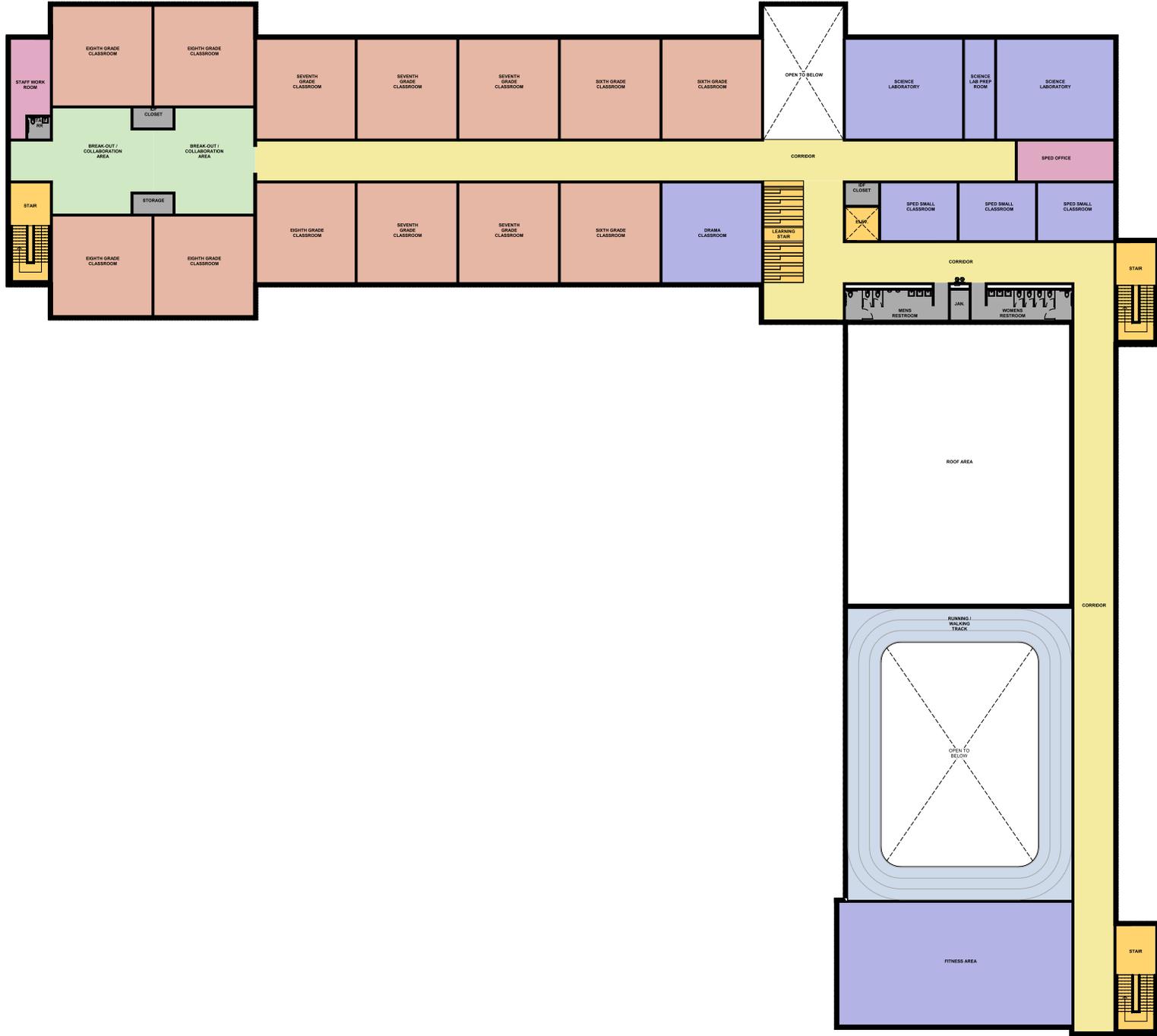
SCREENED REFUSE AREA



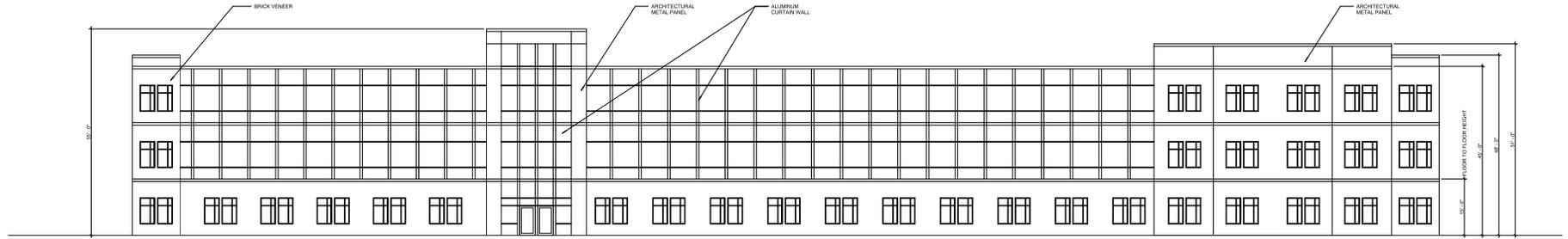
1 FIRST FLOOR PLAN



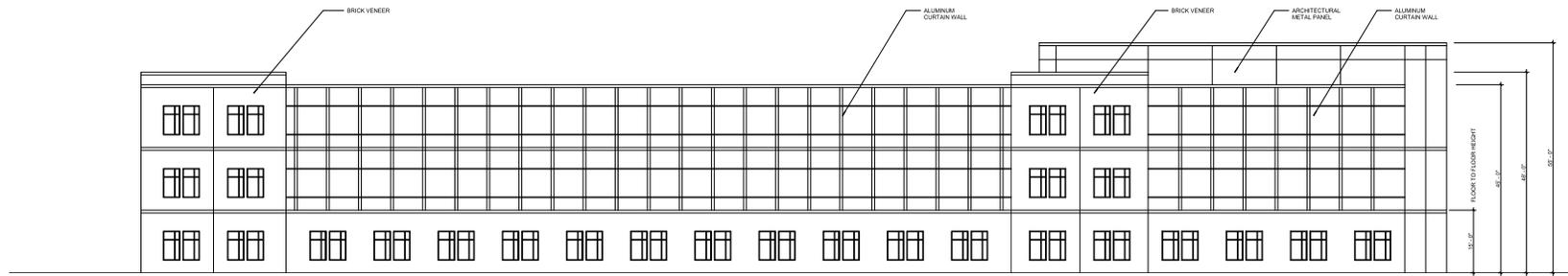
1 SECOND FLOOR PLAN  
 1" = 12'



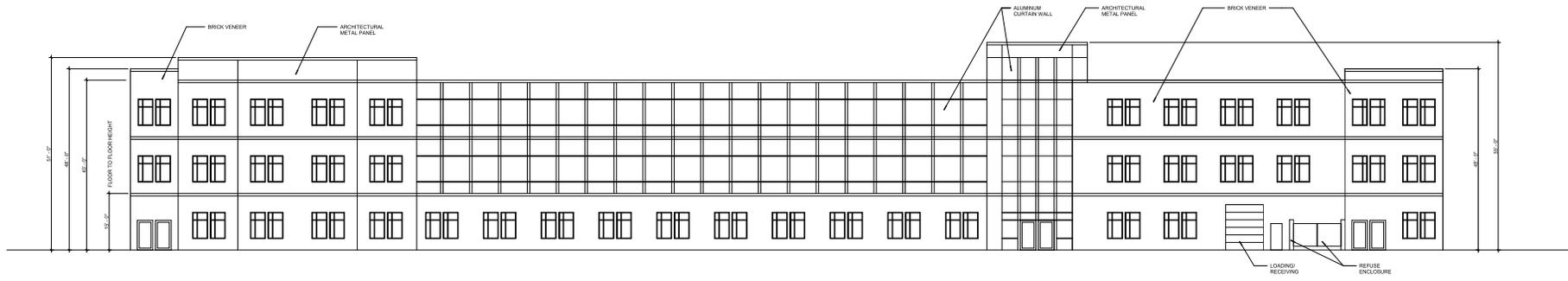
1 THIRD FLOOR PLAN  
 1" = 12'-0"



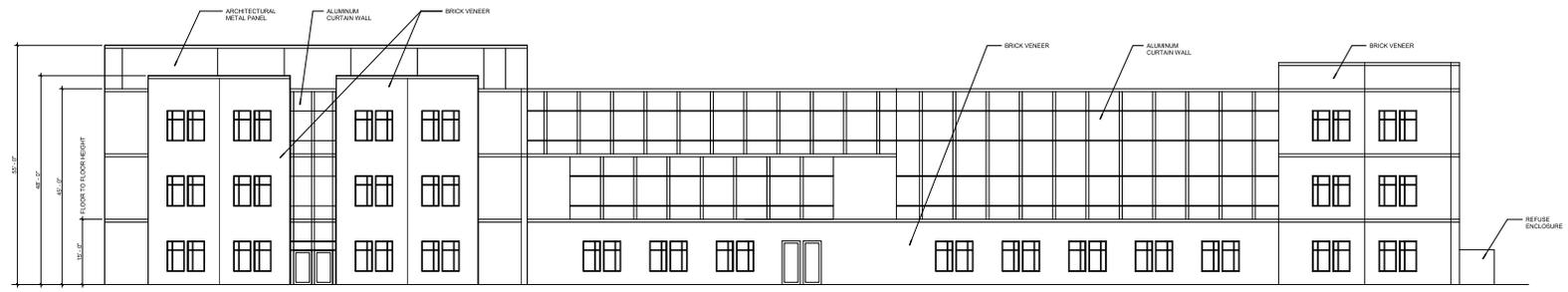
1 NORTH BUILDING ELEVATION  
1" = 10'-0"



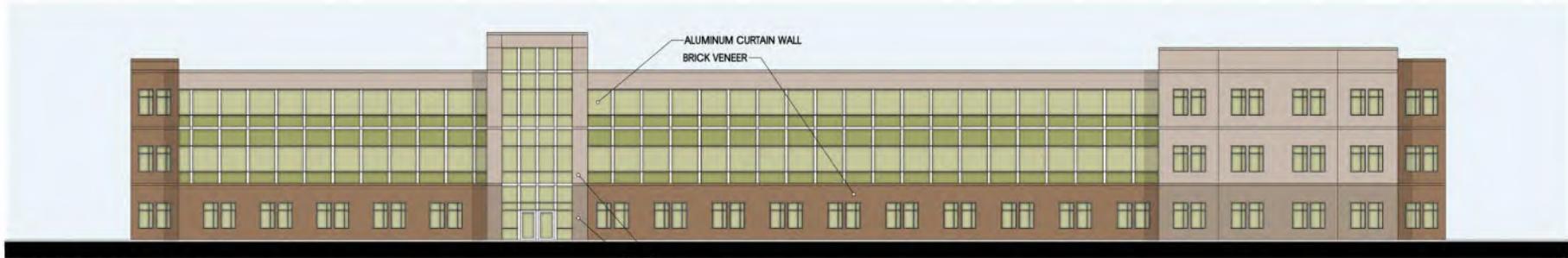
2 EAST BUILDING ELEVATION  
1" = 10'-0"



1 SOUTH BUILDING ELEVATION  
1" = 10'-0"



2 WEST BUILDING ELEVATION  
1" = 10'-0"



**NORTH ELEVATION**



**SOUTH ELEVATION**



**EAST ELEVATION**



**WEST ELEVATION**



5TH WARD SCHOOL PRELIMINARY DROP-OFF & PICK-UP PLAN STUDY BY KLOA INC. (NOT TO SCALE)

Table  
PROJECTED STUDENT ENROLLMENT AND STATING LEVELS

Building Population	Total	2014-2015	Capacity
Student Enrollment			
5 <sup>th</sup> Ward School K-5	375	292	
5 <sup>th</sup> Ward School 6-8	275	335	
Dr. Bruce Rhodes School K-5	150	150	
Dr. Bruce Rhodes School 6-8	92	92	
Total	892	869	
Staff			
5 <sup>th</sup> Ward School	33	40	
Dr. Bruce Rhodes School	17	17	
Total	79	75	

Table  
PROJECTED PM TRAFFIC GENERATION CAPACITY ENROLLMENT

Population / Vehicle Type	Number of Vehicle Trips		
	Early Arrival Period (7:15-8:15 AM)	Late School Period (3:15-4:15 PM)	Total
5 <sup>th</sup> Ward School Student Drop Off	26	12	38
5 <sup>th</sup> Ward School Student Drop Off	15	30	45
5 <sup>th</sup> Ward School Staff	13	0	13
Dr. Bruce Rhodes School Staff	10	0	10
Other	2	3	5
Total	79	56	135

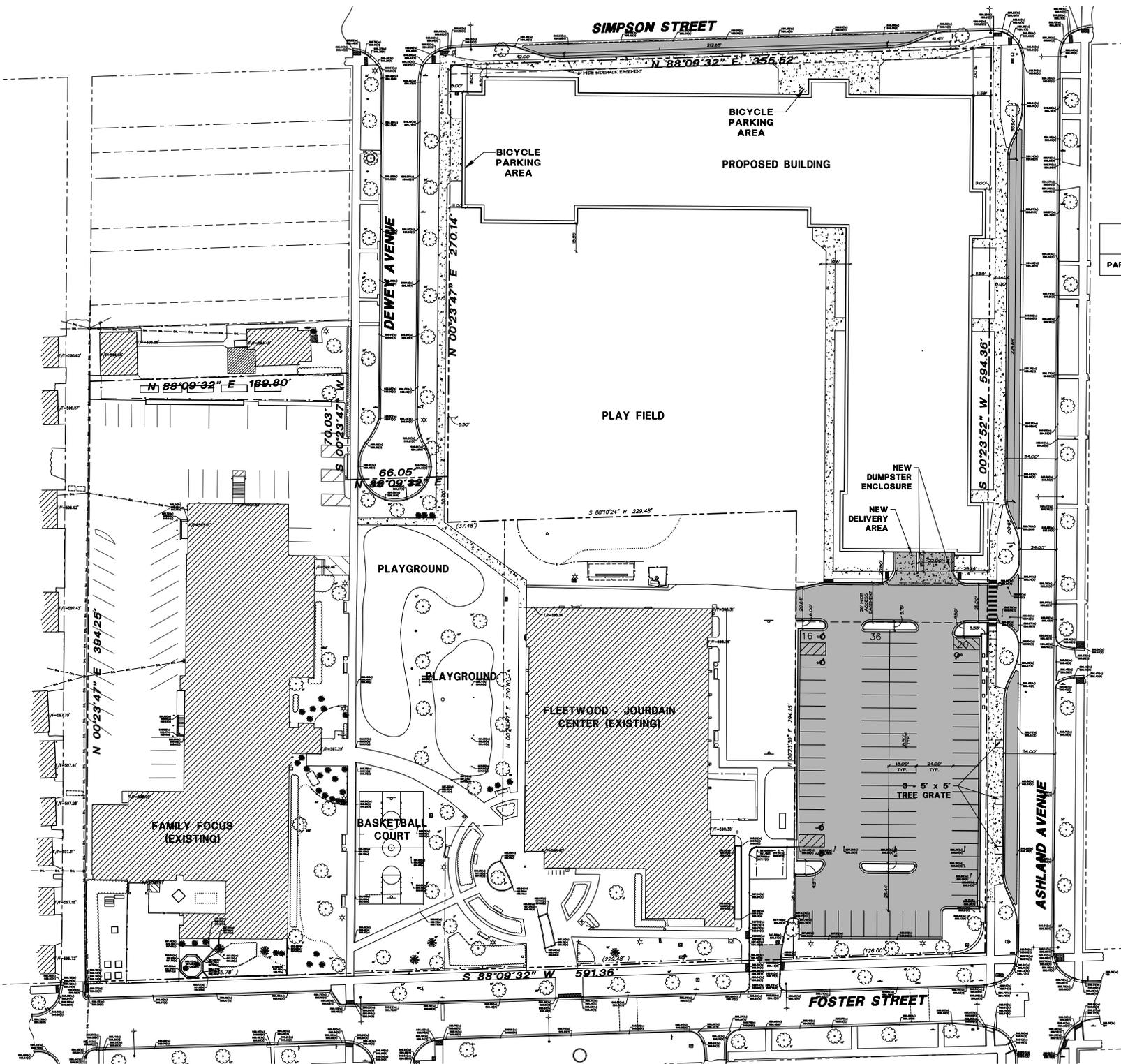
Table  
PROJECTED PM TRAFFIC GENERATION CAPACITY ENROLLMENT

Population / Vehicle Type	Number of Vehicle Trips		
	Early Arrival Period (7:15-8:15 AM)	Late School Period (3:15-4:15 PM)	Total
5 <sup>th</sup> Ward School Student Drop Off	26	12	38
5 <sup>th</sup> Ward School Student Drop Off	15	30	45
5 <sup>th</sup> Ward School Staff	13	0	13
Dr. Bruce Rhodes School Staff	10	0	10
Other	2	3	5
Total	79	56	135

5TH WARD SCHOOL PRELIMINARY PROJECTED TRAFFIC GENERATION STUDY BY KLOA INC.



5TH WARD SCHOOL PRELIMINARY WALK MAP STUDY BY KLOA INC.



**LEGEND**

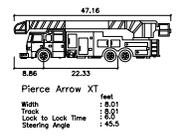
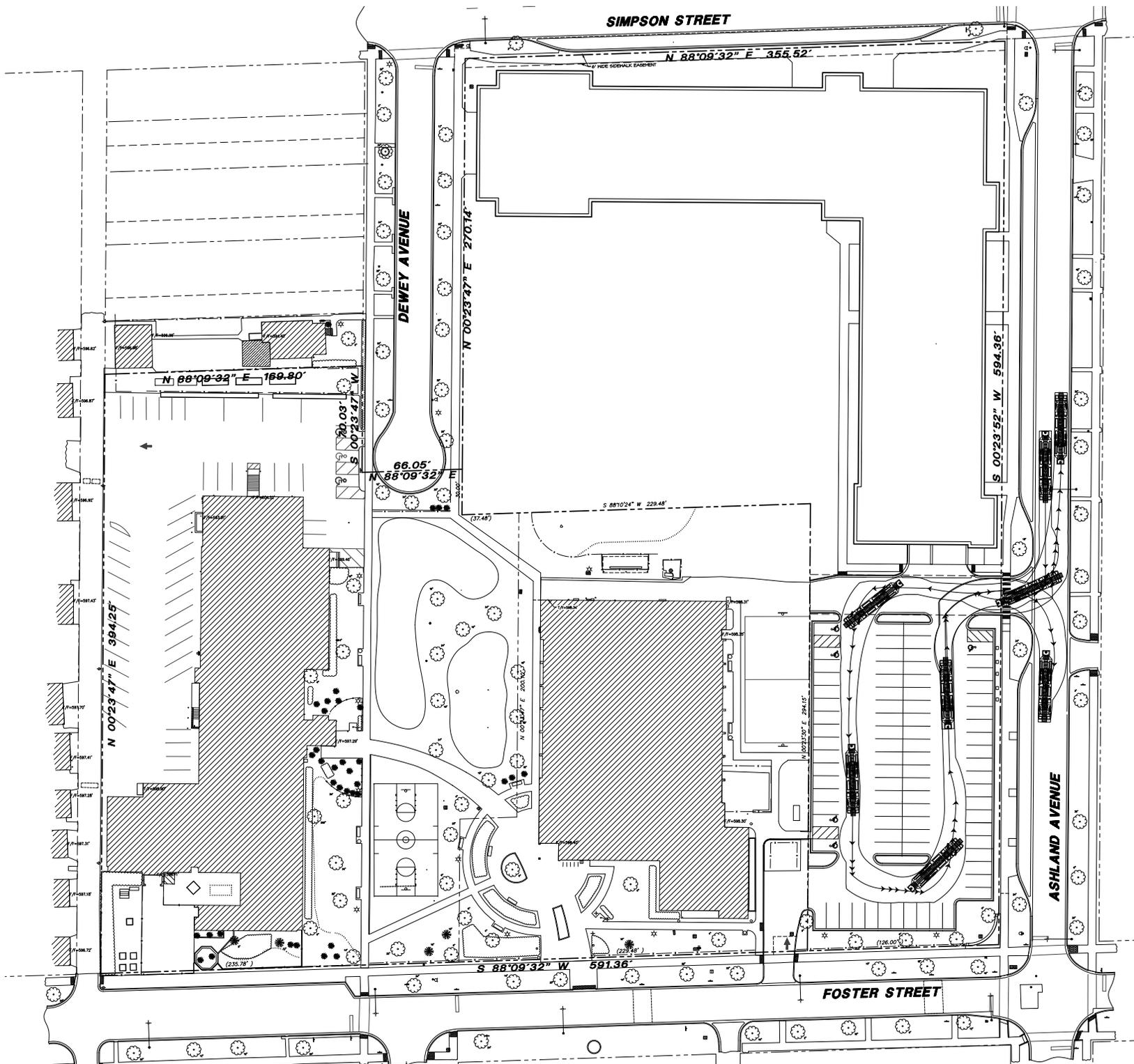
- [Symbol] NEW CONCRETE SIDEWALK
- [Symbol] MULTILAYER DEPTH ASPHALT PAVEMENT
- [Symbol] EXISTING TREE TO BE REMOVED

**PARKING MATRIX (70 STAFF MEMBERS)**

	STANDARD	ADA	TOTAL
PARKING STALL	78	5	83

WT GROUP  
 1" = 20'  
 NORTH

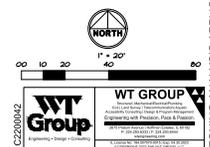
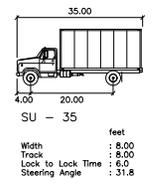
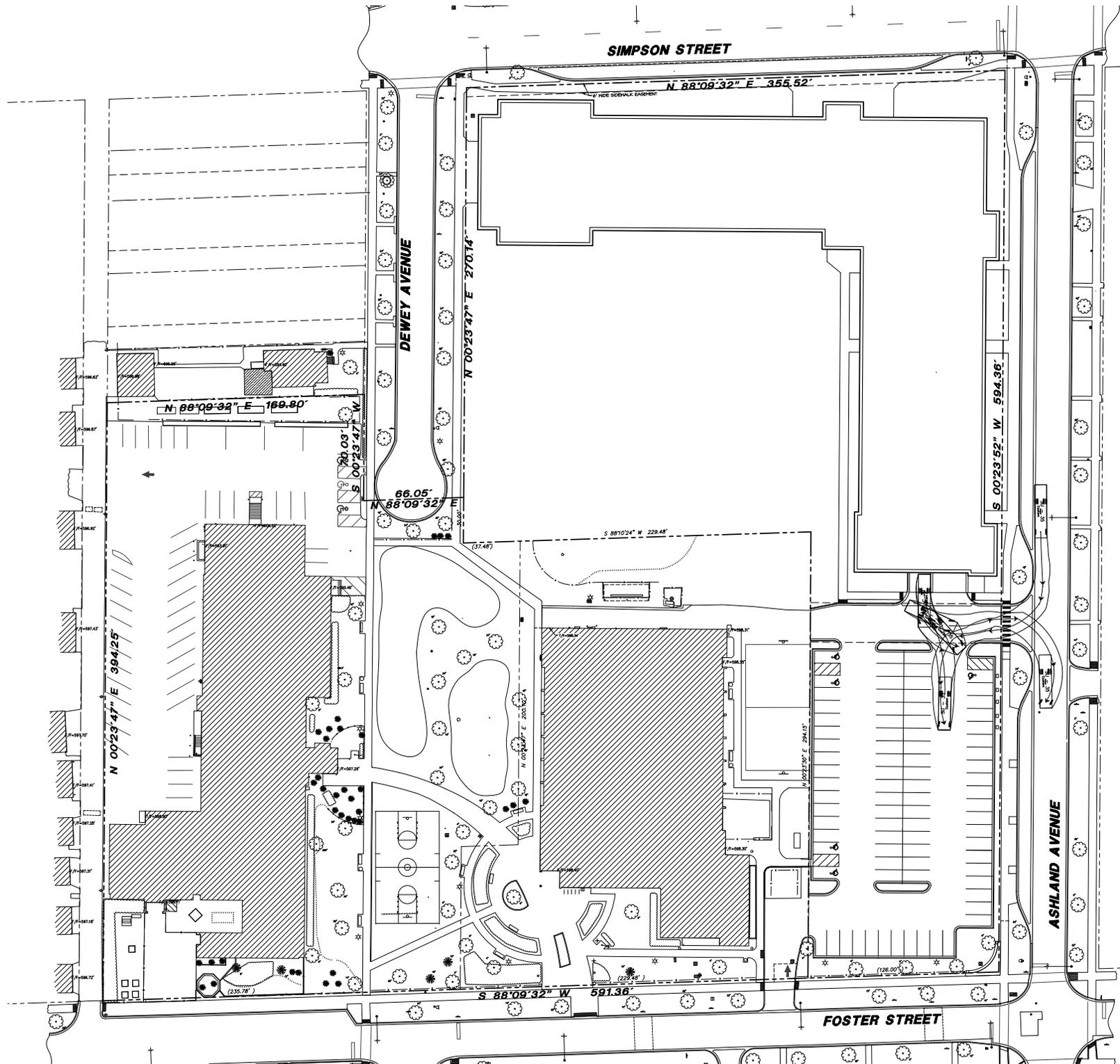




Pierce Arrow XT

Width	47.16
Track	8.86
Lock to Lock Time	22.33
Steering Angle	45.5

**WT GROUP**  
 ZONING ANALYSIS APPLICATION  
 1" = 20'



ZONING ANALYSIS APPLICATION

WT GROUP

WT GROUP

DATE: 03-14-2023

JOB NUMBER: 21103

SITE CIRCULATION PLAN - DELIVERY TRUCK

EVANSTON SKOKIE SD65 NEW 5TH WARD SCHOOL  
2000 SIMPSON ST  
EVANSTON, IL 60201



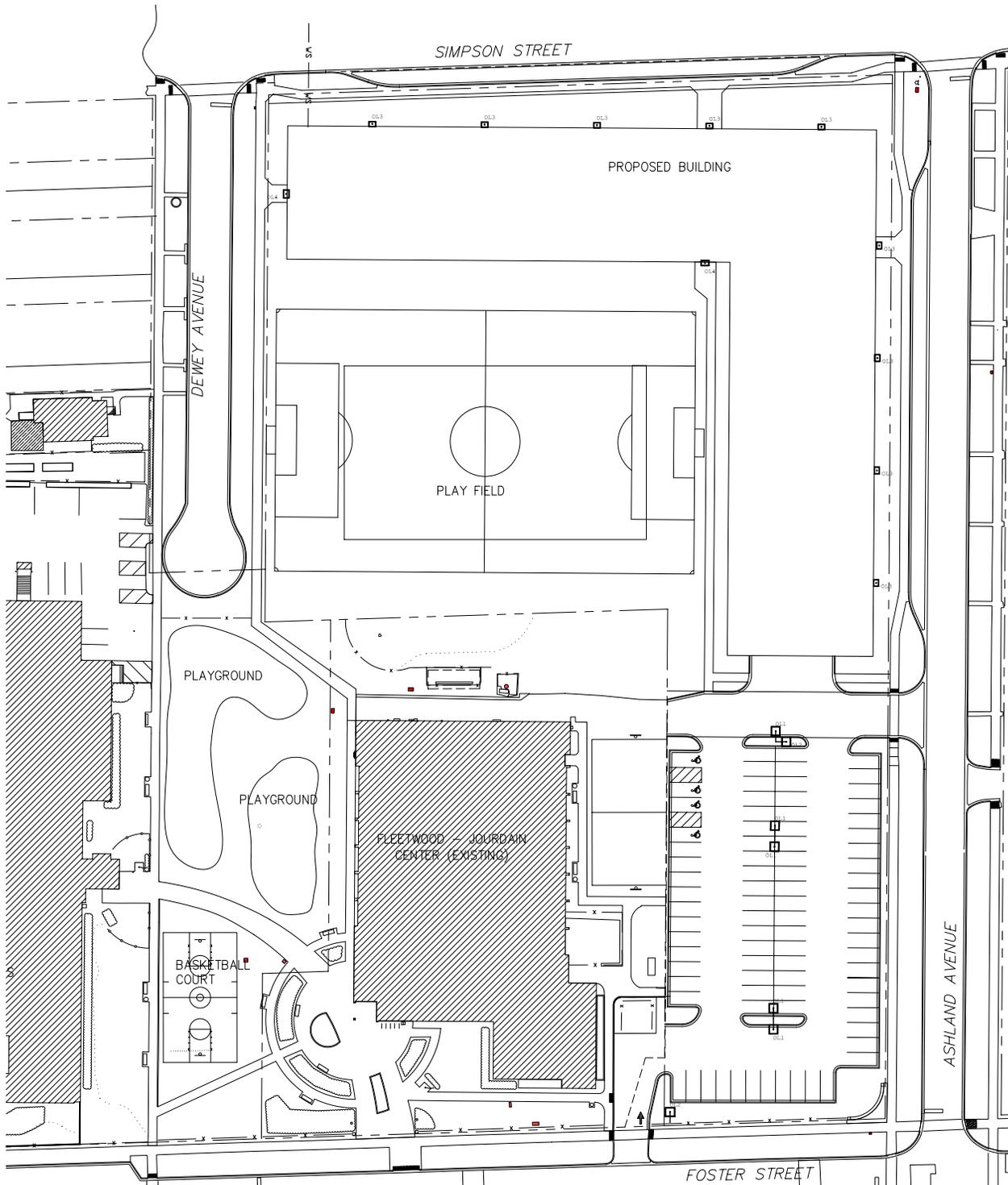








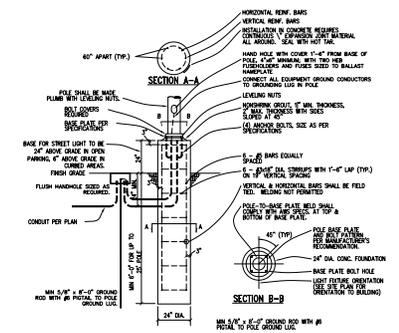




GENERAL SITE ELECTRICAL NOTES

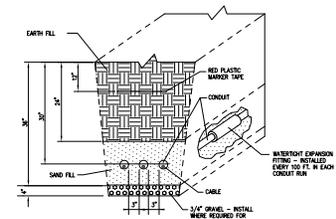
1. ALL WORK SHALL COMPLY WITH LOCALLY ADOPTED AND AMENDED CODES AND STANDARDS.
2. COMPLY WITH NATIONAL ELECTRICAL CODE 2014.
3. COMPLY WITH APPLICABLE NECA/IBEW BEST PRACTICE STANDARDS.
4. BEFORE FITTING TO THE INSTALLATION OF HIS WORK, THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ALL THE OWN CONTROL, PROTECT, CONTROL, SIGNAL, RECORDING, IDENTIFYING, SPICE, TERMINAL, INSULATING, LABELING AND ACCESS POINTS OF HIS EQUIPMENT.
5. VERIFY ALL EXISTING CONDITIONS IN THE FIELD. THIS SHALL BE BASED ON FIELD MEASUREMENTS AND OBSERVATIONS. COMPROMISEMENT OF WORK WITH ACCEPTANCE OF ALL EXISTING CONDITIONS, INCLUDING THE LOCATION OF PRIVATE FACILITIES.
6. CONTRACTOR IS RESPONSIBLE FOR THE QUALITY LOCKING PRIOR TO DIGGING, COORDINATE WITH OWNER FOR LOCATION OF PRIVATE FACILITIES.
7. ALL WORK IS SUBJECT TO FINAL APPROVAL BY THE ARCHITECT, OWNER, AND AIA.

**J.U.L.I.E., 811 OR**  
**CALL 1-800-892-0123**  
 48 Hours (2 working days) Before You Dig.  
 www.illinoiscall.com



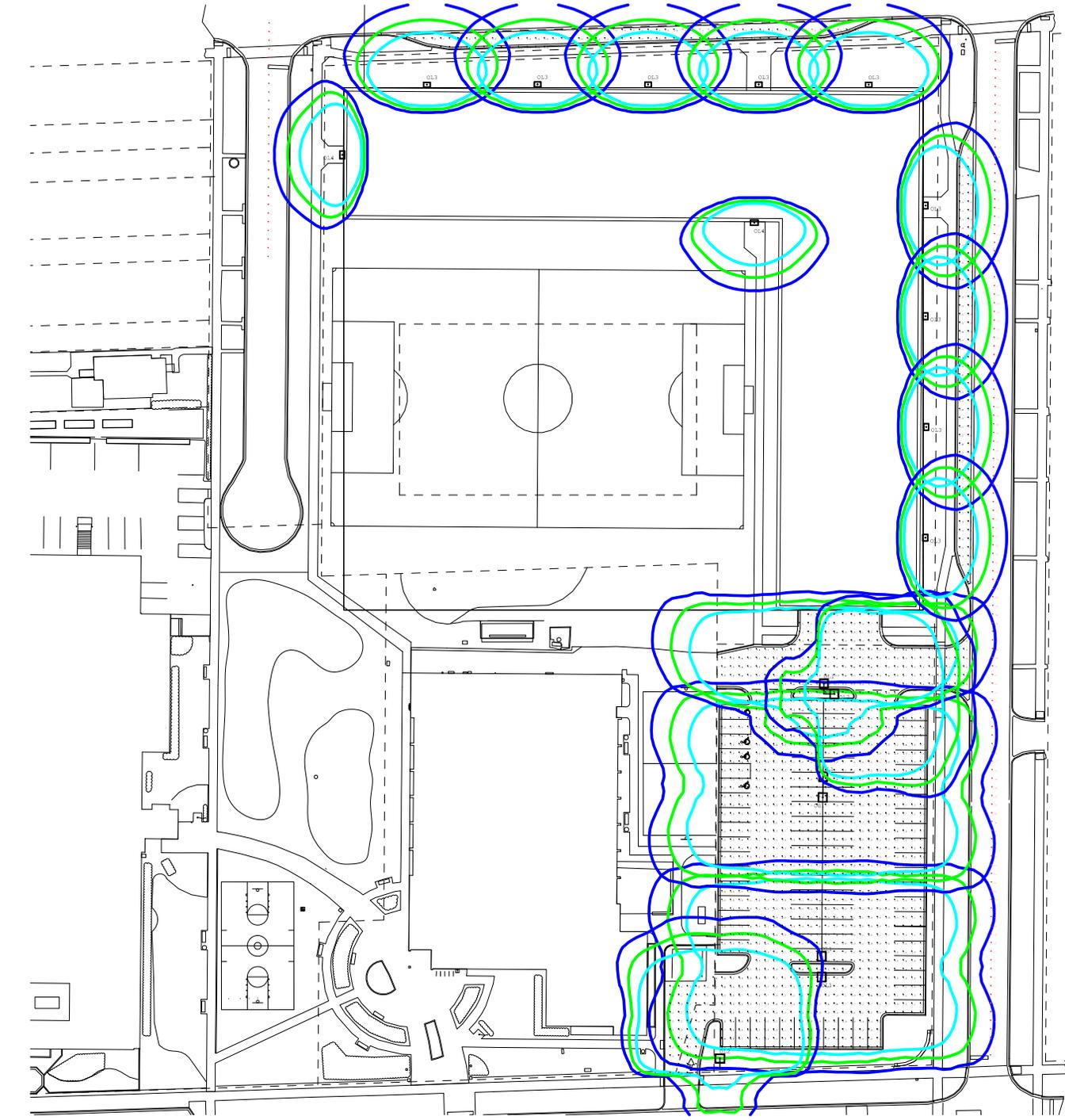
- NOTES:
1. 2000 PSI MIN. 28 DAY COMPRESSIVE STRENGTH CONCRETE WITH GRADE AS REFIN. STEEL.
  2. IF WATER IS PRESENT IN POLE, REMOVE BEFORE POURING CONCRETE.
  3. FOUNDATION ELEVATION SHALL BE BY 2" ABOVE AS INDICATED OR PROPERLY COMPACTED FILL FOR CONDUITS.
  4. PROVIDE MINIMUM 10% OVERSIZING (DOWN TO BUSINESS WITH AND PIGTAILS (EQUAL TO BUSINESS FOR SERIES) FOR ALL IMPROVED CONDUCTORS.

2 POLE BASE DETAIL



3 UNDERGROUND CONDUIT DETAIL

1 ELECTRICAL SITE PLAN



DL3/DL4



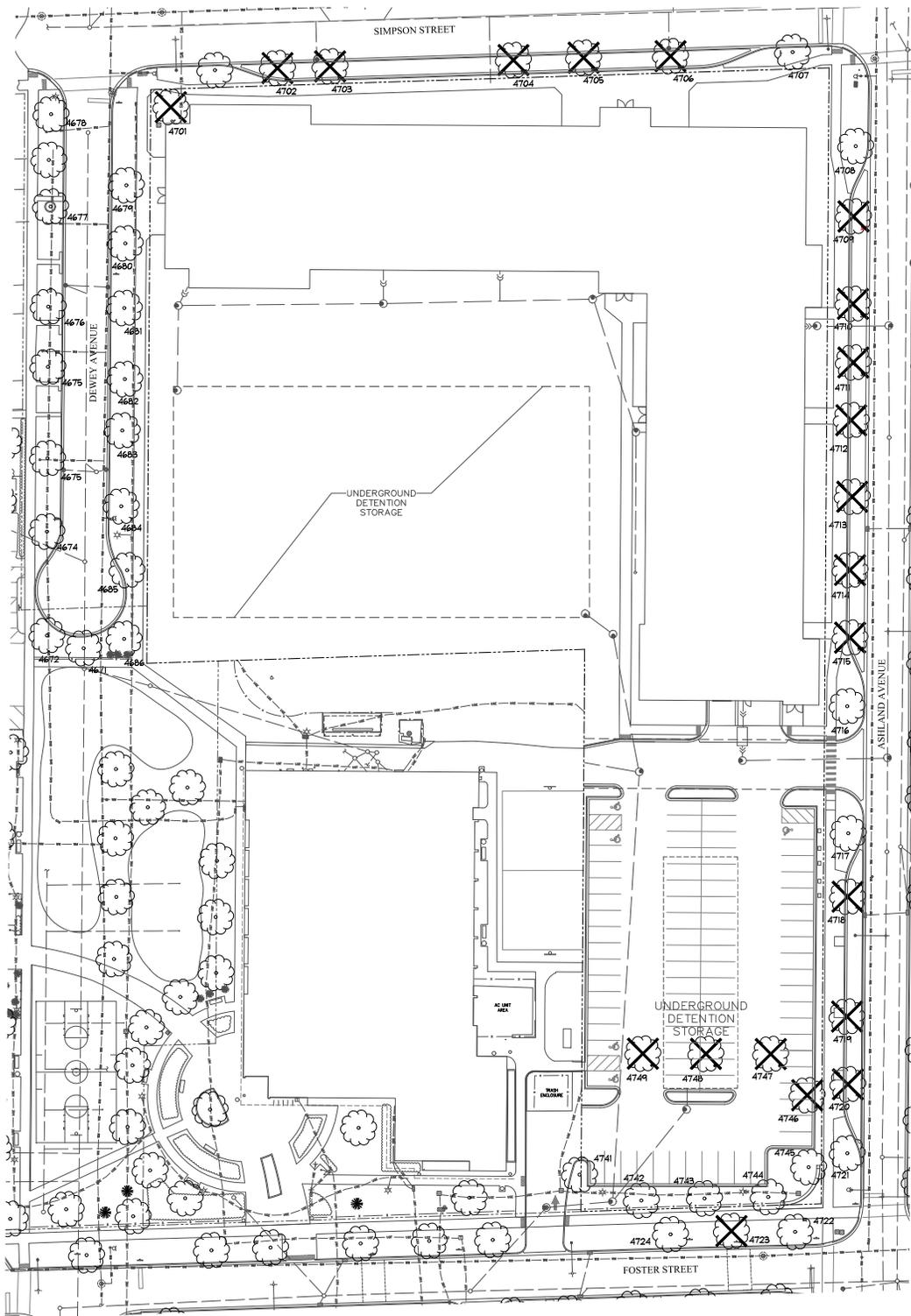
DL1/DL2

Fixture	Footcandle	Footcandle	Footcandle	Footcandle	Footcandle
DL3	DL4	DL1	DL2	DL3	DL4
1	100	100	100	100	100
2	100	100	100	100	100
3	100	100	100	100	100
4	100	100	100	100	100
5	100	100	100	100	100

Location	Footcandle	Footcandle	Footcandle	Footcandle	Footcandle
DL3	DL4	DL1	DL2	DL3	DL4
1	100	100	100	100	100
2	100	100	100	100	100
3	100	100	100	100	100
4	100	100	100	100	100
5	100	100	100	100	100

1 EXTERIOR LIGHTING PHOTOMETRIC  
1" = 20' - 0"





**TREE INVENTORY**

- 1) Trees measured at 4.5 above the ground - DBH (Diameter Breast Height)
- 2) All trees as shown on the site survey were inventoried.
- 3) Health Rating:

Rating	Description	Criteria
1	Excellent	Less than 10% dead wood, typical growth for species, no observed defects
2	Good to Fair	Less than 20% dead wood, minor defects, sound structure, no decay
3	Fair	Less than 30% dead wood, minor crown die-back, minor trunk damage or cavities
4	Fair to Poor	Approximately 30-50% dead wood, lacking full crown, minor disease evidence, trunk damage
5	Poor	Over 50% dead wood, lacking full crown, disease or decay evident, structural damage/cavities
6	Dead	Less than 10% living wood, greater than 50% missing bark, adventitious growth only, decay

TOTAL TREES REVIEWED: 95

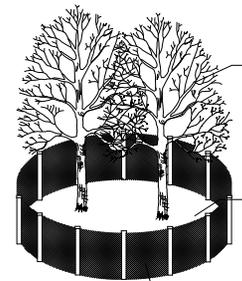
TAG NO.	SCIENTIFIC NAME	COMMON NAME	DBH (Inches)	HEALTH	RATING	NOTES	Proposed Action
4671	Gleditsia inacanthos	Honey Locust	22	Good	2		Preserve
4672	Gleditsia inacanthos	Honey Locust	14	Good	2	Healing trunk scar from mowing	Preserve
4673	Gleditsia inacanthos	Honey Locust	16	Good	2	Crown lean, slightly unbalanced	Preserve
4674	Gleditsia inacanthos	Honey Locust	22	Good	2	Prune suckers	Preserve
4675	Gleditsia inacanthos	Honey Locust	30	Good	2		Preserve
4676	Gleditsia inacanthos	Honey Locust	20	Good	2	Slight unbalanced	Preserve
4677	Aesculus hippocastanum	Horse Chestnut	25	Good	2	Healed trunk scar	Preserve
4678	Gleditsia inacanthos	Honey Locust	22	Good	2	Crown lean	Preserve
4679	Gleditsia inacanthos	Honey Locust	17	Good	2	Crown lean over street, healed trunk scars	Preserve
4680	Gleditsia inacanthos	Honey Locust	24	Good	2	Slight unbalanced	Preserve
4681	Gleditsia inacanthos	Honey Locust	20	Good	2	Healed trunk scars	Preserve
4682	Gleditsia inacanthos	Honey Locust	24	Good	2	Exposed roots, 10% dead branches	Preserve
4683	Gleditsia inacanthos	Honey Locust	20	Good	2	10% dead branches	Preserve
4684	Gleditsia inacanthos	Honey Locust	32	Good	2	10% dead branches	Preserve
4685	Gleditsia inacanthos	Honey Locust	21	Good	2	Healed trunk scars, 10% dead branches	Preserve
4686	Gleditsia inacanthos	Honey Locust	24	Good	2	Slight lean	Preserve
4701	Ulmus americana	American Elm	43	Fair	3	Trunk scars, insect damage, crown lean-balanced, 10% dead branches	Remove
4702	Gymnocladus dioica	Kentucky Coffee Tree	8	Good	2	Trunk scar from mowing	Remove
4703	Acer prenanthoides	Norway Maple	15	Good	2		Remove
4704	Acer prenanthoides	Norway Maple	22	Fair	3	Lean over road, 20% dead branches, healing trunk scar	Remove
4705	Ulmus americana	American Elm	14	Good	2	10% dead branches	Remove
4706	Gleditsia inacanthos	Honey Locust	15	Good	2		Remove
4707	Gymnocladus dioica	Kentucky Coffee Tree	7	Good	2		Preserve
4708	Quercus macrocarpa	Bur Oak	13	Good	2		Preserve
4709	Tilia americana	American Basswood	26	Good	2	Healed trunk scars	Remove
4710	Tilia americana	American Basswood	27	Good	2		Remove
4711	Tilia americana	American Basswood	26	Good	2	V-joint @ 10', included bark	Remove
4712	Tilia americana	American Basswood	22	Good	2	Exposed roots (scared and healing)	Remove
4713	Tilia americana	American Basswood	30	Fair	3	Prune suckers, trunk scars, partially hollow	Remove
4714	Tilia americana	American Basswood	26	Good	2	V-joint @ 8', included bark, straight	Remove
4715	Celtis occidentalis	Common Hackberry	15	Good	2		Remove
4716	Ulmus pumila	Siberian Elm	18	Fair	3	Crowded, V-joints	Preserve
4717	Tilia americana	American Basswood	34	Good	2	10% dead branches	Remove
4718	Tilia americana	American Basswood	25	Good	2		Remove
4719	Tilia americana	American Basswood	28	Good	2		Remove
4720	Tilia americana	American Basswood	26	Good	2		Remove
4721	Tilia americana	American Basswood	27	Good	2		Preserve
4722	Celtis occidentalis	Common Hackberry	16	Good	2	U-joint	Preserve
4723	Celtis occidentalis	Common Hackberry	22	Poor	4	Exposed roots, 50% dead (has no new leaf buds)	Remove
4724	Ulmus americana	American Elm	52	Good	2		Preserve
4741	Celtis occidentalis	Common Hackberry	7	Good	2	Healing pruning scars	Preserve
4742	Celtis occidentalis	Common Hackberry	7	Fair	3	Slight crown lean, healing pruning scars	Preserve
4743	Celtis occidentalis	Common Hackberry	7	Fair	3	Crown lean, unbalanced	Preserve
4744	Celtis occidentalis	Common Hackberry	6	Good	2	Slight crown lean, balanced	Preserve
4745	Celtis occidentalis	Common Hackberry	9	Good	2	Slight unbalance	Preserve
4746	Celtis occidentalis	Common Hackberry	6	Good	2	Healing pruning scars	Remove
4747	Ginkgo biloba	Ginkgo	4	Good	2	Crown lean	Remove
4748	Ginkgo biloba	Ginkgo	3	Good	2	Crown lean	Remove
4749	Ginkgo biloba	Ginkgo	6	Good	2	Prune non-dominant leader, healing trunk scar	Remove

**TREE PRESERVATION NOTES**

1. 48" high safety fence or wood barriers shall extend to the dripline of the tree or tree mass whenever possible, shall be installed before construction begins, and should not be removed until the completion of construction.
2. Contractor shall take extreme care to protect the root system of existing trees. Should root pruning be necessary it shall not exceed 20% of the tree's root system and shall be done in accordance with recognized horticulture practices under the supervision of a professional arborist, landscape architect or horticulturist.
3. All accidental damage to existing trees that are to be preserved shall be repaired/retreated as recommended by recognized horticultural practices and the instructions of the professional arborist, landscape architect or horticulturist.
4. Broken or fully braked branches shall be removed with a clean cut. If recommended by the professional arborist, landscape architect or horticulturist.
5. Care shall be exercised by the contractors to protect all overhead limbs and branches from damage by contact with material, machinery or equipment and by damage from engine exhaust.
6. Contractors shall protect trees and vegetation against spills or discharge of fuel, lubricating oils, hydraulic fluids, anti-freeze and coolants, sodium chloride, lime and all other similar hydrocarbons, organic chemicals, and other materials which can be harmful.
7. When underground utilities are proposed within 6' of a preserved tree trunk, they must be detailed if possible.

**LEGEND**

- TREE TO BE PRESERVED
- TREE TO BE REMOVED



**TREE PRESERVATION DETAIL**  
SCALE: N.T.S.

LANDSCAPE WORK PART 1 - GENERAL

1.1 DESCRIPTION OF WORK

The work shall consist of furnishing, transporting and installing all seeds, plants and other materials required for...

- 1. The establishment of trees, shrubs, perennial, annual and lawn areas as shown on landscape plans.
2. The provision of post-planting management as specified herein.
3. Any remedial operations necessary in conformance with the plans as specified in this document.
4. Fertilize which may be required.

1.2 QUALITY ASSURANCE

- A. Work shall conform to State of Illinois Horticultural Standards and local municipal requirements.
B. Quality Control Procedures:
1. Ship landscape materials with certificates of inspection as required by governmental authorities.
2. Do not make substitutions.
3. Analysis and Standards: Package standard products with manufacturer's certified analysis.

1.3 SUBMITTALS

- A. Planting Schedule
B. Maintenance Instruction - Landscape Work
C. Submit two (2) copies of soil test of existing topsoil with recommendations for soil additive requirement to Landscape Architect for review and written approval.
D. Submit two (2) samples of shredded hardwood bark mulch, erosion control blankets, and all other products and materials as specified on plans to Landscape Architect for review and written approval.
E. Nursery packing lists indicating the species and quantities of material installed must be provided to the Owner and/or City upon request.

1.4 JOB CONDITIONS

- A. Examine and evaluate grades, soils and water levels. Observe the conditions under which work is to be performed and notify Landscape Architect of unsatisfactory conditions.
B. Utilities: Review underground utility location maps and plans; notify local utility location services; demonstrate an awareness of utility locations and certify acceptance of liability for the protection of utilities during course of work.
C. Excavation: When conditions detrimental to plant growth are encountered such as rubble fill, adverse drainage conditions or obstructions, notify Landscape Architect before planting.

1.5 GUARANTEES

- A. Guarantee seeded and sodded areas through the specified maintenance period and until final acceptance.
B. Guarantee trees, shrubs, groundcover and perennials for a period of one year after date of acceptance against defects including death and unsatisfactory growth, except for defects resulting from neglect by Owner, abuse or damage by others or unusual phenomena or incidents which are beyond Landscape Installer's control.

LANDSCAPE WORK PART 2 - PLANT MATERIALS

2.1 LAWN SOD

Provide strongly rooted sod, not less than two (2) years old and free of weeds and undesirable native grasses...

2.2 LAWN SEED MIXTURE

Grass Seed: Provide fresh, clean, new crop seed complying with the tolerance for purity and germination established by the Official Seed Analysts of North America...

- A. Lawn Seed Mixture - 5 lbs./1,000 sq. ft.
50% Kentucky Bluegrass 90/50
15% Custer Perennial Ryegrass
10% Spartan Hard Fescue
10% Edge Perennial Ryegrass
10% Bluegrass Perennial Ryegrass
5% Pennium Creeping Red Fescue

2.3 GROUNDCOVERS, PERENNIALS AND ANNUALS

Provide plants established and well-rooted in removable containers or integral peat pots and with not less than the minimum number and length of runners required by ANSI Z60.1 for the pot size shown or listed.

2.4 TREES AND SHRUBS

- A. Name and Variety: Provide nursery ground plant material true to name and variety.
B. Quality: Provide trees, shrubs and other plants complying with the recommendations and requirements of ANSI Z60.1 'Standard for Nursery Stock' and as further specified.
C. Deciduous Trees: Provide trees of height and caliper listed or shown on site with branching configuration recommended by ANSI Z60.1 for type and species required.
D. Deciduous Shrubs: Provide shrubs of the height shown or listed and with not less than the minimum number of canes required by ANSI Z60.1 for the type and height of shrub required.
E. Coniferous Evergreen: Provide evergreens of the sizes shown or listed.
F. Inspection: All plants shall be subject to inspection and review at the place of growth or upon delivery and conformity to specification requirements as to quality, right of inspection and rejection upon delivery at the site or during the progress of the work for size and condition of balls or roots, diseases, insects and latent defects or injuries.

2.5 PLANTING SOIL MIXTURE

Provide planting soil mixture consisting of clean uncompacted topsoil (excluding pits) for all planting pits, perennial, annual and groundcover areas. Topsoil shall be conditioned based on any recommendations resulting from the soil test in 1.3.C.

2.6 EROSION CONTROL

- A. Lawn Seed Areas Erosion Control Blanket: North American Green D575, or equivalent approved equal.
B. Native Areas Erosion Control Blanket: North American Green S160, or equivalent approved equal.

2.7 MULCH

Provide mulch consisting of shredded hardwood. Provide same to Landscape Architect for approval prior to ordering materials.

LANDSCAPE WORK PART 3 - EXECUTION

3.1 PLANTING SCHEDULE

At least thirty (30) days prior to the beginning of work in each area, submit a planting schedule for approval by the Landscape Architect.

3.2 PLANTINGS

- A. Seeding New Lawns
1. Remove existing grass, vegetation and turf. Dispose of such material legally off-site.
2. Till to a depth of not less than 6"; apply soil amendments as needed; remove high areas and fill in depressions.
3. Seeded areas shall receive an application of commercial fertilizer at the rate of 10 lbs. per 1,000 sq. ft.
4. Lay sod within 24 hours from time of stripping.
5. Lay sod to form a solid mass with tightly fitted joints.
6. Water sod thoroughly with a fine spray immediately after planting.
B. Seeding New Lawns
1. Remove existing grass, vegetation and turf. Dispose of such material legally off-site.
2. Till to a depth of not less than 6"; apply soil amendments; remove high areas and fill in depressions.
3. Seeded lawn areas shall receive an application of commercial fertilizer at the rate of 5 lbs. per 1,000 sq. ft.
4. Do not use wet seed or seed which is moldy or otherwise damaged in transit or storage.
5. Sow seed using a spreader or seeding machine.
6. Rate lawn seed lightly into top 1" of soil, roll lightly and water with a fine spray.

C. Groundcover and Perennial Beds

Groundcover, perennials, and annuals shall be planted in continuous beds of planting soil mixture a minimum of 8" deep. Install per spacing indicated on plan.

D. Trees and Shrubs

- 1. Set balled and burlapped (B&B) stock plants in center of pit or trench with top of ball at an elevation that will keep the root flare exposed upon backfill and mulching.
2. Dish top of backfill to allow for mulching.
3. Munch pits, trenches and planted areas.
4. Prune only injured or dead branches from flowering trees.
5. Remove and replace excessively pruned or ill-formed stock resulting from improper pruning.
6. The Contractor shall be wholly responsible for ensuring that all trees are planted in a vertical and plumb position and remain so throughout the life of this contract.

3.3 INITIAL MAINTENANCE

- A. Begin maintenance immediately after planting, continuing until final acceptance.
B. Maintain planted and seeded areas by watering, rolling/grading, reseeding and implementing erosion control as required to establish vegetation free of eroded or bare areas.

3.4 CLEAN UP AND PROTECTION

- A. During landscape work, store materials and equipment where directed.
B. Protect landscape work and materials from damage due to landscape operations by other trades and trespassers.

3.5 INSPECTION AND ACCEPTANCE

- A. The Landscape Architect reserves the right to inspect seeds, plants, trees and shrubs either at place of growth or at site before planting for compliance with requirements for name, variety, size, quantity, quality and mix proportion.
B. Supply written affidavit certifying composition of seed mixtures and integrity of plant materials with respect to species, variety and source.
C. Notify the Landscape Architect within five (5) days after completing initial and/or supplemental plantings in each area.
D. When the landscape work is completed, including maintenance, the Landscape Architect will, upon request, make a final inspection to determine acceptability. After final acceptance, the Owner will be responsible for maintenance.

Vertical sidebar containing logos for CORDOGAN CLARK, EVANSTON SKOKIE SDB5 NEW 5TH WARD SCHOOL, LANDSCAPE SPECIFICATIONS, and WT GROUP.





**CORDOGAN CLARK**  
ARCHITECTURE · ENGINEERING · CONSTRUCTION



EVANSTON/SKOKIE  
SCHOOL DISTRICT 65





**CORDOGAN CLARK**  
ARCHITECTURE · ENGINEERING · CONSTRUCTION

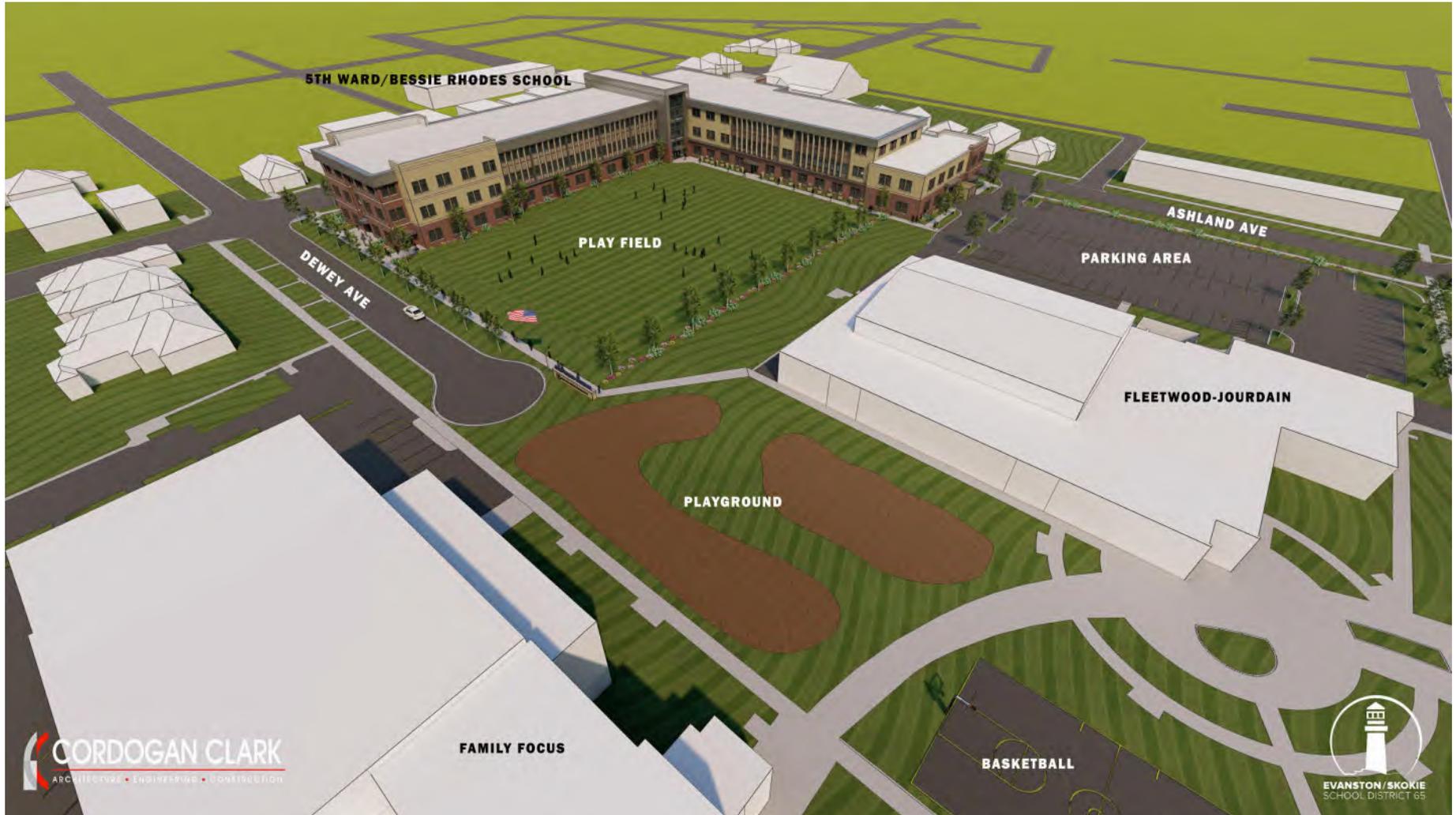




**CORDOGAN CLARK**  
ARCHITECTURE • ENGINEERING • CONSTRUCTION









**EVANSTON/SKOKIE**  
SCHOOL DISTRICT 65

---

Every Child, Every Day,  
Whatever it Takes

---

August 19, 2024

Ms. Meagan Jones  
Neighborhood and Land Use Planner  
Community Development/Planning & Zoning Division  
City of Evanston  
2100 Ridge Ave.  
Evanston, IL 60201

Dear Ms. Jones,

The Board of Education of Evanston/Skokie School District 65 (District) respectfully requests that the City of Evanston amend ordinance *48-O-23 Granting Major Variations to allow a K-8 Education Institution- Public on Property Located at 1600 Simpson Street in the OS Open Space District* approved on May 24, 2023.

In Section 3 of the ordinance, #16, the City Council imposed the condition that "Mechanical equipment is screened and designed to minimize noise."

We request the following amendment:

Mechanical equipment **observable from the public way and/or exceeds city building code M1309.1 regarding noise limitations** is screened and designed to minimize noise.

As can be seen in the attached, the mechanical equipment on the building rooftop street level cannot be seen along the public way on Simpson Street or Dewey Avenue and under the proposed amendment, would not require screening.

In addition, per the testing results by engineers from Cordogan Clark, the noise levels of the proposed rooftop mechanical units at the property line at street level will meet Building Code, Section *M1309.1 Noise limitations*, which requires noise levels for equipment and appliances to not exceed 55 dBA SPL as measured at the property line.

If the amendment is approved, the space on the roof will be made available to allow for expansion to the rooftop solar array. In addition, the integrity of the roof structure will be improved since several hundred roof penetrations to secure the eight-foot metal

1500 McDaniel Avenue  
Evanston, Illinois 60201

P 847.859.8000  
F 847.866.7241

---

Evanston-Skokie SD 65  
[www.district65.net](http://www.district65.net)

screens and the braces to support the screens will not be required.

Lastly, the funds not spent on rooftop metal screens will be made available to pay for other design items that are not included in the base budget at this time yet would enhance our overall educational program in support of students at the school.

Please note that our analysis shows that the mechanical units on the rooftop of the building section along Ashland Avenue will be observable from the public way. As a result, the District plans to screen that equipment to meet the conditions of the ordinance.

Attached are views from Simpson Street the southwest corner of the school's playfield and letters of support from:

1. Bernadette Burke and Mark Mallchok, Owners and tenants of properties along the north side of Simpson Street
2. Dara Munson and Dottie Johnson, Family Focus

We look forward to reviewing this request and related supporting documentation with the City Council. In the meantime, please feel free to contact me at (847) 859-8010.

Sincerely,



Dr. Angel Turner  
Superintendent  
Evanston-Skokie School District 65

1500 McDaniel Avenue  
Evanston, Illinois 60201

P 847.859.8000  
F 847.866.7241

Evanston/Skokie SD 65  
[www.district65.net](http://www.district65.net)



Kirby Callam <callamk@district65.net>

---

## Foster School Roof Top

---

**Bernadette Burke** <bburke@brella.com>

Wed, Aug 14, 2024 at 3:17 PM

To: Kirby Callam <callamk@district65.net>

Cc: Mark Mallchok <mmallchok@brella.com>, Bobby Burns <bburns@cityofevanston.org>

Dear Mr. Callam

As a neighbor with adjoining property to the north of the new Foster School, I'd like to reiterate my support of District 65's request to not install the 8-foot metal fence screening on the roof of the proposed new building along the Simpson Street side. We are hopeful that by not requiring the fencing, the district might be able to reduce cost and ideally even add in solar or other energy efficiency roofing elements to reduce the greenhouse effects on the local area.

We have seen the renderings that show the views of the building from the Simpson Street side of the building. We also understand that the rooftop equipment has been tested and noise levels will not exceed the City standard of 55 dBA at the property line. We agree that we see no reason for the District to incur the additional cost to visually shield the rooftop mechanicals from view as long as they are kept tidy during installation and maintenance.

Thank you,

Bernadette Burke

Mark Mallchok

**BERNADETTE BURKE**

PRESIDENT

**BRELLA**

*Creative Production Agency*

*for Events & Training*

847-859-0201

WBE / WOSB Certified Company



5467 S University Avenue  
Chicago IL 60615  
t 773-643-0452  
f 773-643-0620

910 W Van Buren St.  
Suite 400  
Chicago, IL 60607  
t 312-777-1947

[www.family-focus.org](http://www.family-focus.org)

**Dara T. Munson, MPA**  
**President & CEO**

July 25, 2024

Dear Mr. Callam

As a neighbor with adjoining property to the south and west of the new Foster School, Family Focus supports District 65's request to not install the 8-foot metal fence screening on the roof of the proposed building along the Simpson Street side.

We have seen the renderings that show the views of the building from the Simpson Street side of the building and from the Family Focus building. We also understand that the rooftop equipment has been tested and noise levels will not exceed the City standard of 55 dBA at the property line.

Thank you,

Dara Munson  
President & CEO

Dottie Johnson  
Chief Financial Officer

1. View from Simpson Street at Ground looking southwest.



2. View from Simpson Street at Ground looking south.



3. View from Simpson Street at Ground looking southeast.



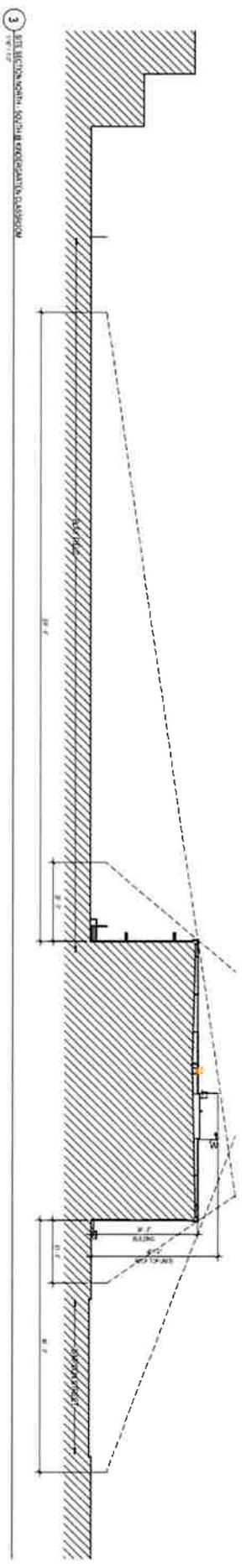
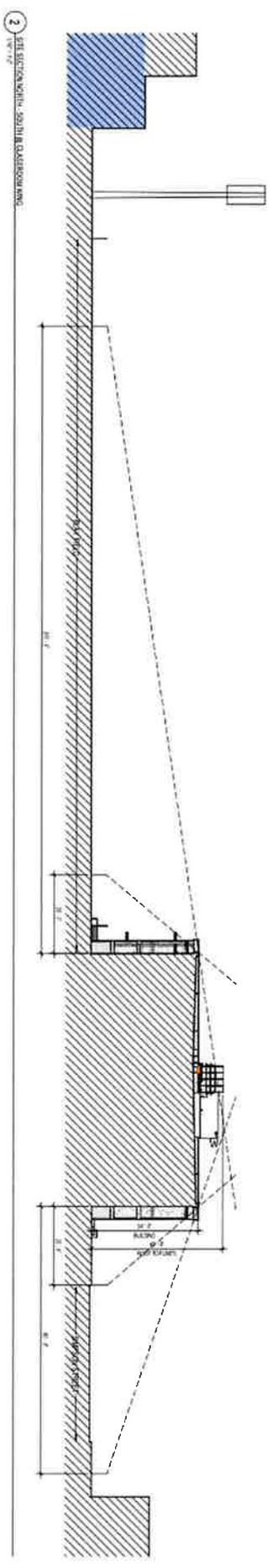
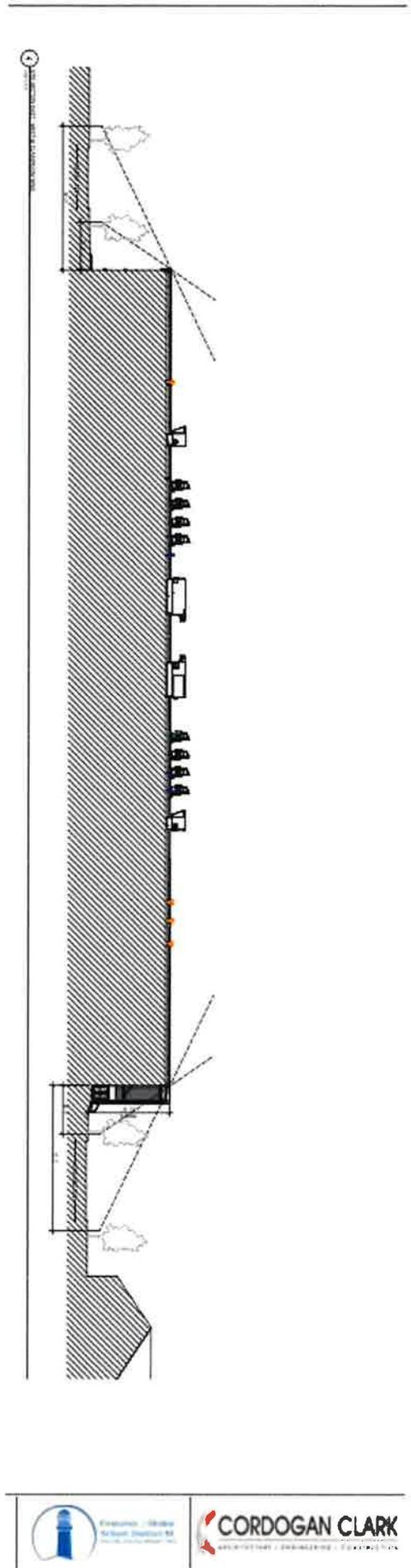
4. View from Simpson Street mixed-use roof top looking south.



5. View from the southwest corner of the play field looking northeast.



## 6. Sightline views from sides of the Simpson Street Wing of Foster School



# EVANSTON/SKOKIE SD65 NEW FOSTER SCHOOL

## *Construction Management Plan*

July 24, 2024

SCHOOL  
NAME





# CONTENTS

The information included is proprietary and not to be utilized or shared with others without the written consent of Cordogan Clark. This Construction Site Management Plan outlines the operations and procedures that will take place at SWC Simpson Court and Ashland Ave in Evanston, IL.

## CONSTRUCTION MANAGEMENT PLAN:

- 1. CONSTRUCTION SCHEDULE.....3
- 2. SITE LOGISTICS.....4-5
- 3. EROSION CONTROL, TREE PROTECTION, SITE MAINTENANCE & TESTING/MONITORING OF WORK.....6
- 4. PROJECT COMMUNICATION.....7

## EXHIBITS:

- EXHIBIT A: TRUCK ROUTES
- EXHIBIT B: SITE STAGING & LOGISTICS PLAN
- EXHIBIT C: BID GROUP 1 PLANS
- EXHIBIT D: PROJECT SCHEDULE



# CONSTRUCTION MANAGEMENT PLAN

## 1. CONSTRUCTION SCHEDULE

### Site Mobilization: Ground Improvements, Site Demolitions, Site Clearing and Enabling

Construction will begin with the installation of a temporary construction fence as well as the construction of a temporary haul road extending from the existing apron off Ashland Ave. (see Exhibit A – Site Staging Plan). Upon securing the site we will begin Clearing and Grubbing as well as General Site Demolitions. Topsoil will be stockpiled on site for re-use and all demolition debris will be hauled off site and taken to licensed waste management facilities. Following site clearing, the ground improvement process and installation of Controlled Modulus Columns (CMC's) along the perimeter foundations of the new Foster School will commence.

We anticipate closing the sidewalks along the east and west property lines to facilitate the installation of the CMC's. Sidewalks to be closed include the west side of Ashland Ave. and east side of Dewey Ave. Sidewalks along Simpson and Foster Streets to remain open. All required permits have been applied for and no work will commence within the public ROW until they have been obtained.

### Project Schedule:

Total Estimated Construction Schedule Project Duration: 24 months (July 2024 Through July 2026).

#### Important Milestone Dates:

- Mobilization – 7/26/24
- Ground Improvements and Enabling – 7/26/24 thru 9/30/24
- Foundations and Shell – 11/8/24 thru 3/25/25
- Site Utilities and New Parking (Excludes Fleetwood Parking Lot) – 10/1/24 thru 6/20/25
- Interior Build Out – 5/28/25 thru 7/6/26
- Complete Site Improvements (Includes Existing Fleetwood Parking Lot): 3/23/26 – 6/1/26
- Project Completion: 7/6/26
- See attached Project Schedule – Exhibit C.

### Construction Hours:

Construction and noise limitation hours for this project will be as follows per the City of Evanston requirements:

- Monday – Friday: 7:00 AM – 7:00 PM
- Saturday: 8:00 AM – 5:00 PM (As Needed)
- Sunday: No work permitted unless previously approved by the City of Evanston



## 2. SITE LOGISTICS

### Site Logistics Plan:

The attached Site Staging Plan will be utilized for the project (Site Staging Plan - Exhibit A). Below is a description of the site staging and construction logistics that will be utilized for the project.

### Contractor Parking:

Cordogan Clark is proposing utilizing the property North of the Fleetwood Jourdain Center that is schedule for demolition. We will install the construction fencing along the north edge of the existing paved road to secure the area of demolition as required. We will fence around the existing Cell Phone Tower and the proposed Tower equipment expansion area as required. This will allow the construction of temporary parking onsite for all Contractor Parking while keeping the project site secure. We anticipate allowing for 20 total contractor parking spaces. Upon the completion of site demolition, we will utilize the future parking area to allow for additional overflow contractor parking and material storage as required. See the attached Staging Plan for further clarification.

### Delivery Routes and Material Staging:

- All Deliveries will be off the existing Ashland Avenue apron. We will utilize approved haul routes for all deliveries as required. (See attached Haul Route Map – Exhibit C).
- All subcontractors will be required to abide by the Local Jurisdictions as well as the City of Evanston and State of Illinois Truck Routes and permit all loads as required for all deliveries.
- The fenced off construction area will be utilized for delivery and unloading of materials and equipment. Material will be stored both in the fenced area as well as inside the building.
- Staging of trucks on City Streets will not be allowed.

### Site Security:

- Security fence will be an 8' high, post driven, screened fence along the property line.
- Gates will be locked at the end of every workday to prevent any after-hours access.
- Cordogan Clark will provide full-time field personnel to monitor work during the times that work is commencing. We will monitor all site conditions and ensure the site stays secure throughout the duration of the project.

### Temporary Facilities:

- Cordogan Clark will have an onsite office trailer in the location as shown on the Site Staging Plan.
- Porta-Potties will be staged on-site for all contractors' use (location as indicated on Site Staging Plan - Exhibit B). These will be maintained on a weekly basis or as needed.



- We anticipate that water will be needed for construction. There will be a Water Truck on-site at the onset of the project. As water is needed, and prior to having the permanent water lines installed, we will utilize the Hydrant located at the corner of Simpson and Ashland Ave. to fill the truck as required. Cordogan Clark will obtain a meter from the City of Evanston as required to monitor all water usage.
- Temporary Power is currently being coordinated with ComEd.
- All other temporary facilities will be the responsibility of each prime contractor to provide.

#### **Right of Way Work:**

- For the ease of the project Cordogan Clark is requesting Sidewalk Closures along Ashland and Dewey. This will remain in place throughout the duration of the project. See attached Site Staging Plan. All appropriate permits will be obtained prior to this work commencing.
- Work within the right-of-way will be required along Foster Ave., Ashland, Dewey and Foster. Work required includes new utility connections, replacement of City Sidewalks/Curb and Gutters and improvement to the existing parkway. This work is not anticipated until the Spring of 2026. We will submit necessary permits and provide any required bonds/fees as required prior to commencing this work.

#### **Waste Management:**

- All soil removal and demolition debris to be disposed of at a certified CCDD Facility.
- All Contractors to utilize approved City of Evanston waste hauler for any required roll off dumpsters. Contractors must use the City of Evanston Commercial Franchised Waste Hauler – LRS. Visit [Home | LRS Waste Management Services - LRS \(lrsrecycles.com\)](https://www.lrsrecycles.com/): <https://www.lrsrecycles.com/> for more information.

#### **Existing Conditions and Salvaging of Lighting:**

- Cordogan Clark will construct the temporary construction fence to allow for future expansion of the existing cell tower located north of the Fleetwood Jourdain Center. Clear access will be provided through the project site and along the existing paved drive. Any coordination required for this work will be handled by our full time Site Representative.
- If the City of Evanston desires to salvage the existing Musco Lighting, we will utilize the paved (former Basketball court) area located to the east of the Fleetwood Jourdain Center for temporary storage.
- See attached Site Staging Plan Exhibit B, for clarification

#### **Fire Prevention Plan:**

- Cordogan Clark will obtain the required Knox Box from the City of Evanston Fire Department. This will be mounted on the proposed construction gate and accessible to the Fire Department.
- The Project will have all Fire Extinguishers as required throughout construction within the new building during the construction duration.



- An evacuation plan will be established and implemented throughout construction. This plan will be reviewed by all Contractor's weekly.
- All Emergency Contact Information will be posted as required by OSHA. This will be reviewed and discussed in weekly Contractor Meetings.

### **3. EROSION CONTROL, TREE PROTECTION, SITE MAINTENANCE & TESTING/MONITORING OF WORK**

#### **Erosion Control:**

- All erosion control measures to be per the approved Erosion Control Plan and as per the SWPP Permit. (See Exhibit C – Bid Group 1 Plans)
- All Temporary stockpiles to be seeded, stabilized and protected with silt fence.
- Cordogan Clark will have a water truck on-site to mitigate any dust through the project.
- Cordogan Clark anticipates a Street Sweeper on site throughout major construction activities to maintain all local roads as required.

#### **Survey, Testing and Monitoring of Work:**

- Cordogan Clark will contract with a Third-Party Testing Contractor to monitor, observe and report on all new work. This scope of work will include Vibration Monitoring to verify no construction activities are impacting surrounding properties.
- All erosion control measures will be inspected and logged. Reports will be generated as required per the contract SWPP documents.
- Cordogan Clark will contract with a Third-Party Survey Company to establish control on the project site. We will utilize the surveyor to monitor and log any potential settlement to the surrounding areas.

#### **Existing Tree Protection:**

- All Existing Trees to remain within the parkway, will be fenced off and protected as detailed in the project documents. (See Exhibit C – Bid Group 1 Documents). All root/tree pruning will commence prior to any required excavations within the drip lines as defined in the permit documents.

#### **Snow Removal:**

- Cordogan Clark will contract with a licensed Snow Removal contractor to keep the site and surrounding public areas clear as needed.

#### **Rodent Control**

- A contract will be issued to a licensed pest control contractor before the start of construction.
- Because there are no existing buildings being demolished with the project, pest control is expected to be minimal.



## 4. PROJECT COMMUNICATION:

### Project Communication:

Cordogan Clark will utilize Autodesk Construction Cloud for all project correspondence. This will include all submittals, RFI, and Daily reporting/site photos. This will be available to the entire project team.

We will also create and distribute a Monthly Executive Summary that will summarize work progress, the current Project Financials, and an updated CPM Schedule. This will be distributed via email to the project team as well as saved to the project share point folder located here:

#### ESSD65 Foster School:

<https://cordoganclark.sharepoint.com/sites/ESSD65FosterSchool?e=1%3A0dd39b8996c7499da32ea625f3687533>

### Site Signage:

Required signage with site contact information will be present during all phases of construction. Signage containing the following information will be posted at the project entrance:

- All state and federal legal posters and safety signs
- Site superintendent contact information including name and phone number
- Emergency phone numbers
- “No trespassing” signs

### Project Contacts:

Brian Kronewitter, Executive Vice President, President of Construction

- E-mail: [bkronewitter@cordoganclark.com](mailto:bkronewitter@cordoganclark.com)
- Mobile: 630-209-7525

Mike Gora, Director of Operations

- E-mail: [mgora@cordoganclark.com](mailto:mgora@cordoganclark.com)
- Mobile: 630-740-4382

Paul Maurer, Site Superintendent

- E-mail: [pmaurer@cordoganclark.com](mailto:pmaurer@cordoganclark.com)
- Mobile: 630-360-5636

Ben Nelson, Project Manager

- E-mail: [bnelson@cordoganclark.com](mailto:bnelson@cordoganclark.com)
- Mobile: 847-651-5020

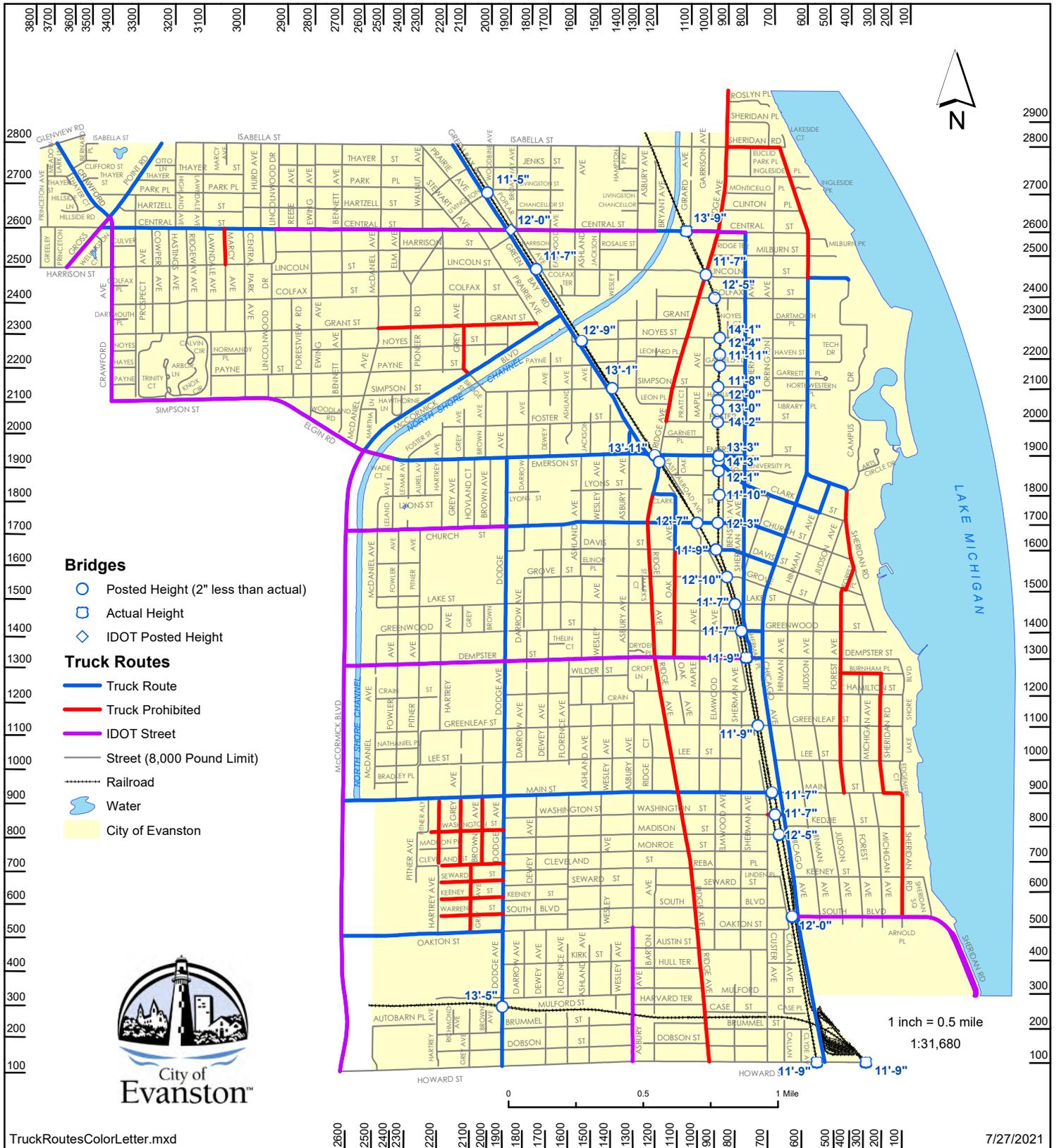
Cari Compton, Project Administrator

- E-mail: [ccompton@cordoganclark.com](mailto:ccompton@cordoganclark.com)
- Mobile: 630-403-8546

Additional contacts will be shared with the City of Evanston as requested.

# EXHIBIT A

## City of Evanston Truck Routes



This map is provided "as is" without warranties of any kind. See [www.cityofevanston.org/mapdisclaimers.html](http://www.cityofevanston.org/mapdisclaimers.html) for more information.

# EXHIBIT B SITE STAGING PLAN

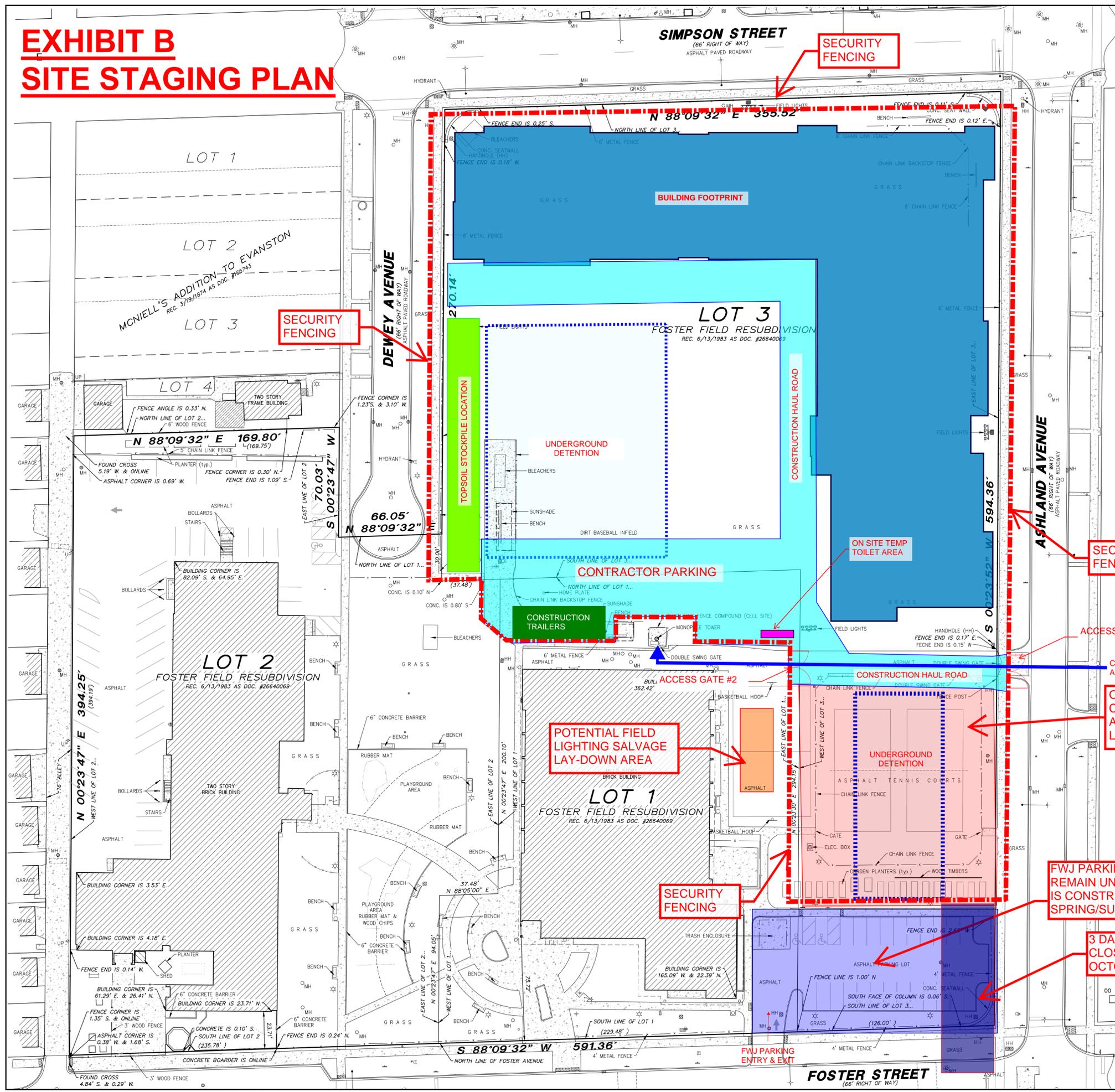
# BOUNDARY & TOPOGRAPHIC SURVEY

LOTS 1, 2 AND 3 IN FOSTER FIELD RESUBDIVISION OF PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 13, TOWNSHIP 41 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 13, 1983 AS DOCUMENT 26640069.



### SURVEY NOTES:

- SITE BENCHMARK #1 - CROSS CUT ON THE BURY BOLT OF THE FIRE HYDRANT LOCATED AT THE SOUTHWEST CORNER OF SIMPSON STREET & ASHLAND AVENUE. ELEVATION=598.13' (NAVD88) SEE SHEET SUR-2 FOR LOCATION.
- SITE BENCHMARK #2 - CROSS CUT ON THE SOUTHEAST FLANGE BOLT OF THE FIRE HYDRANT LOCATED AT THE SOUTHWEST CORNER OF SIMPSON STREET & DEWEY AVENUE. ELEVATION=597.13' (NAVD88) SEE SHEET SUR-2 FOR LOCATION.
- SITE BENCHMARK #3 - CROSS CUT ON THE SOUTHEAST FLANGE BOLT OF THE FIRE HYDRANT LOCATED ON THE EAST SIDE OF DEWEY AVENUE, JUST NORTH OF THE CUL-DE-SAC. ELEVATION=597.48' (NAVD88) SEE SHEET SUR-3 FOR LOCATION.
- FOR CITY OF EVANSTON DATUM SUBTRACT 579.98' FROM ALL ELEVATIONS.
- CITY OF EVANSTON SOURCE BENCHMARK #39, BEING A ROD WITH A CAP LOCATED ON THE NORTH SIDE OF SIMPSON STREET, APPROX. 1000' WEST OF DEWEY AVENUE. ELEVATION=18.10' (CITY OF EVANSTON DATUM) OR 598.08' (NAVD88)
- THE LOCATION OF UNDERGROUND UTILITIES WAS DETERMINED BY FIELD OBSERVATION AND VISIBLE MARKINGS ONLY.
- FIELD WORK COMPLETED ON SEPTEMBER 8, 2022
- PROPERTY AREA: 6.874 ACRES (299,432 SQUARE FEET)
- PERMANENT INDEX NUMBER (P.I.N. #): 10-13-201-026, 10-13-201-027, 10-13-201-028.
- SURVEY PREPARED WITHOUT THE AID OF A TITLE REPORT, REFER TO A CURRENT TITLE REPORT, DEED AND LOCAL CODES FOR ANY EASEMENT, BUILDING SETBACKS AND OTHER LOCAL RESTRICTIONS NOT SHOWN HEREON.
- PROPERTY DESCRIPTION SHOWN ABOVE WAS TAKEN FROM QUIT CLAIM DEED RECORDED DECEMBER 27th, 1991 PER DOCUMENT NUMBER 91681354.
- ACCORDING TO OUR INTERPOLATION OF THE FLOOD INSURANCE RATE MAP THIS SITE IS LISTED AS BEING IN A ZONE "X", DESCRIBED AS "AREAS OF MINIMAL FLOOD HAZARD" PER F.E.M.A. PANEL NO. 17031C0265J DATED AUGUST 19, 2008.
- SURVEY PREPARED FOR: CORDOGAN, CLARK & ASSOCIATES.
- THERE ARE NO BUILDINGS ON THE SURVEYED PROPERTY.
- BASIS OF BEARINGS IS TRUE NORTH BASED ON ILLINOIS STATE PLANE COORDINATE SYSTEM, ILLINOIS EAST 1201 ZONE.
- ANY DISCREPANCIES FOUND WITHIN THIS DOCUMENT NEED TO BE REPORTED TO THE SURVEYOR AS SOON AS POSSIBLE.



SECURITY FENCING

ACCESS GATE #1

OVERFLOW CONTRACTOR PARKING AND ADDITIONAL LAYDOWN AREA.

FWJ PARKING ONLY TO REMAIN UNTIL NEW LOT IS CONSTRUCTED IN SPRING/SUMMER 2026

3 DAY TEMP CLOSURE OCTOBER, 2024

SECURITY FENCING

POTENTIAL FIELD LIGHTING SALVAGE LAY-DOWN AREA

WE THE WT GROUP DO HEREBY DECLARE THAT WE HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THIS PLAT IS A CORRECT REPRESENTATION OF SAID SURVEY. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY AND TOPOGRAPHIC SURVEY.

GIVEN UNDER OUR HAND AND SEAL THIS 6th DAY OF MARCH A.D. 2023 AT HOFFMAN ESTATES, ILLINOIS.

*Francis L. Matric*  
FRANCIS L. MATRIC - PLS #035-003556 EXPIRES 11/30/2024  
PROFESSIONAL DESIGN FIRM LICENSE NO. 184.007570-0015



SEE SHEETS SUR-2, 3 & 4 FOR TOPOGRAPHIC SURVEY DATA AND BUILDING DIMENSIONS

LEGEND	
PROPERTY LINE	TOP FOUNDATION/THRESHOLD
CENTER LINE	TYPICAL SIGN
EASEMENT LINE	FLARED END SECTION
BUILDING SETBACK	CLOSED MANHOLE
RECORD DATA	OPEN GRATE MANHOLE
TOP OF (CONCRETE, ETC.)	BEEHIVE GRATE MANHOLE
SPOT GRADE	GUTTER FRAME MANHOLE
BOTTOM OF (GROUND, OUTLET, ETC.)	VALVE VAULT
CONCRETE	FIRE HYDRANT
EVERGREEN/DECIDUOUS WITH SIZE IN INCHES	B-BOX / SERVICE VALVE
SHRUB/SHRUB LINE	POST LIGHT/GROUND LIGHT
MONITOR WELL	AREA LIGHT/LIGHT POLE
GAS VALVE	STREET LIGHT
UTILITY MARKINGS (cable, elec, fiber)	TRAFFIC SIGNAL
(tel, water, gas)	MAST ARM SIGNAL
MAILBOX	HANDHOLE (electric, traffic)
	GAS METER
	ELECTRIC METER
	PEDESTAL (tele, elec, cable)
	SOIL BORING
	TEL/ELEC MANHOLE
	UTILITY POLE
	QUADRANT
	QUIRY WIRE ANCHOR
	773
	CONTOUR LINE
	TREE LINE / HEDGE LINE
	EDGE GRAVEL/STONE
	FENCE LINE
	STORM SEWER
	SANITARY SEWER
	COMBO SEWER
	WATER SEWER LINE
	WATER MAIN
	OVERHEAD LINE
	FIBER OPTIC LINE
	GAS LINE
	U.G. TELE. LINE
	U.G. ELECTRIC LINE

**WT GROUP**  
Engineering with Precision, Pace and Passion.  
2676 Palumbo Avenue Hoffman Estates, IL 60192  
T: 224.299.6333 F: 224.299.6444  
www.wtgroup.com  
IL License No: 184.007570-0015 Expires: 04.30.2024  
© COPYRIGHT 2023 THE WT GROUP, LLC

**WT Group**  
Engineering • Design • Construct

AQUATIC | CIVIL | MECHANICAL | ELECTRICAL | PLUMBING | TELECOMMUNICATION | STRUCTURAL | ACCESSIBILITY CONSULTING | DESIGN & PROGRAM MANAGEMENT | LAND SURVEY

D65 NEW 5th WARD SCHOOL  
SVC SIMPSON ST & ASHLAND AVE  
EVANSTON, ILLINOIS

ISSUE

TO	DATE
CLIENT	3/15/23
REV 1	4/28/23

CHECK: FIM  
DRAWN: MWO  
JOB: S2200034

**Z1.12**

SHEET 1 OF 4  
BOUNDARY & TOPOGRAPHIC SURVEY



# EVANSTON SKOKIE SD65

## NEW FOSTER SCHOOL - BID GROUP 1



1600 SIMPSON ST, EVANSTON, IL 60201

GROUND IMPROVEMENTS & SITE CLEARING

OWNER:  
**EVANSTON SKOKIE SD65**  
1500 MCDANIEL AVE,  
EVANSTON, IL 60201

ARCHITECT:  
**CORDOGAN CLARK**  
960 RIDGEWAY AVENUE  
AURORA, IL 60506  
(630) 896-4678

STRUCTURAL, MECHANICAL, PLUMBING, & ELECTRICAL ENGINEER:  
**CORDOGAN CLARK**  
960 RIDGEWAY AVENUE  
AURORA, IL 60506  
(630) 896-4678

CIVIL ENGINEER:  
**WT GROUP**  
2675 PRATUM AVENUE  
HOFFMAN ESTATES, IL 60192  
(224) 293-6333

**RENDERING**

THIS RENDERING IS PROVIDED FOR INFORMATION ONLY AND MAY NOT REFLECT THE FINAL INTENDED DESIGN. IF ANY DISCREPANCY OCCURS BETWEEN THIS RENDERING AND THE CONSTRUCTION DRAWINGS, THE INTENT OF THE CONSTRUCTION DRAWINGS SHALL APPLY.



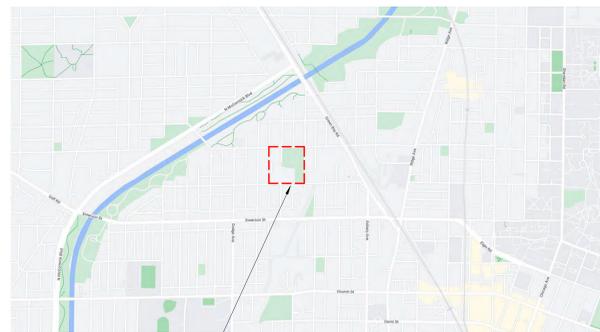
**VICINITY MAP**



NEW 5TH WARD SCHOOL



**LOCATION MAP**



NEW 5TH WARD SCHOOL



**DRAWINGS**

1 - GENERAL	
1.G1.0	COVER SHEET
1.G1.1	GENERAL NOTES, ABBREVIATIONS & SYMBOLS LEGEND
2 - CIVIL	
C-1.0	SITE DEMOLITION PLAN
C-1.1	SITE DEMOLITION PLAN
C-1.2	SITE DEMOLITION PLAN
C-1.3	STORMWATER POLLUTION PROTECTION PLAN DETAILS
SUR-1	BOUNDARY AND TOPOGRAPHIC SURVEY
SUR-2	BOUNDARY AND TOPOGRAPHIC SURVEY
SUR-3	BOUNDARY AND TOPOGRAPHIC SURVEY
SUR-4	BOUNDARY AND TOPOGRAPHIC SURVEY
4 - STRUCTURAL	
S1.1	STRUCTURAL GENERAL NOTES AND SCHEDULES
S1.2.1	FOUNDATION PLAN - OVERALL
S1.2.1A	FOUNDATION PLAN - AREA A
S1.2.1B	FOUNDATION PLAN - AREA B
S1.2.1C	FOUNDATION PLAN - AREA C

STATEMENT OF COMPLIANCE

"I have prepared, or caused to be prepared under my direct supervision, the attached plans and specifications and state that, to the best of my knowledge and belief and to the extent of my contractual obligation, they are in compliance with the Environmental Barriers Act (410 ILCS 25) and the Illinois Accessibility Code (71 Ill. Adm. Code 400)."

ILLINOIS DESIGN FIRM'S REGISTRATION NO.: 184.000.595-0007

Signed: \_\_\_\_\_

ILLINOIS REGISTRATION NO.: 001-010114 - JOHN G. CORDOGAN, AIA

DATE: XX.XX.XXXX

NOT FOR CONSTRUCTION

SEAL

"I hereby certify these drawings have been prepared under my direct supervision and to the best of my knowledge comply with all applicable codes of \_\_\_\_\_ IL."

**ABBREVIATIONS:**

A ANGLE	E EAST	K KILO	R RISER
CL CENTERLINE	(E) EXISTING	KA THOUSAND	RA RETURN AIR
C CHANNEL	EA EACH	KA CYLINDER LOCKS KEYS AWAKE	RB RUBBER BASE
# PENNY	EB EXPANSION BOLT	KB KNEE BRACE	RBL RUBBLE STONE
PL PLATE	EDF ELECTRIC DRINKING FOUNTAIN	KC KITCHEN CABINET	RF RUBBER FLOOR
AB ANCHOR BOLT	EF EACH FACE	KD KNOCKED DOWN	RFP REINFORCED CONCRETE PIPE
ABV ABOVE	EJ EXPANSION JOINT	KEP THOUSAND POUNDS	RD ROUND
ABC AGGREGATE BASE COURSE	ELE ELECTRIC	KIP FT THOUSAND FOOT/ POUNDS	RD ROOF DRAIN
ACC ACCIDENTAL	ELF ELEVATION	KIT KITCHEN	RE REINFORCE
ACC ACCESS	EMR EMERGENCY	KLF KITCHEN LINEAR FOOT	REF REFERENCE
ACFL ACCESS FLOOR	ENCL ENCLOSURE	KNF KIPS PER SQUARE FOOT	REFR REFRIGERATOR
ACPL ACCIDENTAL PLASTER	EP ELECTRICAL PANEL BOARD	KSI KIPS PER SQUARE INCH	REG REGISTER
ACP ACRYLIC PLASTIC	EQ EQUAL EQUIP EQUIPMENT	KWYKWYWAY	REM REMOVE
ACT ACCIDENTAL CEILING TILE	ESC ESCALATOR	L LENGTH	REQD REQUIRED
AC AIR CONDITIONING	ETR EXISTING TO REMAIN	LAB LABORATORY	RES RESILIENT
AD AREA DRAIN	EWK ELECTRIC WATER COOLER	LAD LADDER	RET RETURN
ADA AMERICANS WITH DISABILITIES ACT	EXCA EXCAVATE	LAM LAMINATED	REV REVISION
ADD ADDENDUM	EXIST EXISTING	LAV LAVATORY	RFS ROOFING
ADZN ADDITION	EXM EXPANDED METAL PLATE	LB LAG BOLT	RFH ROOF HATCH
ADH ADHESIVE	EXP EXPOSED	LBL LABEL	RL RIGHT HAND
ADJ ADJACENT	EXPN EXPANSION	LC LIGHT CONTROL	RM RAILING
ADJT ADJUSTABLE	EXS EXTRA STRONG	LDG LANDING	RM ROOM
AFC ABOVE FINISHED CEILING	EXT EXTERIOR	LG LENGTH	RO ROUGH OPENING
AFF ABOVE FINISHED FLOOR	FA FIRE ALARM	LH LEFT HAND	ROW RIGHT OF WAY
AFV ABOVE FINISHED GRADE	FAS FASTENER	LL LIVE LOAD	RVS REVERSE
AGG AGGREGATE	FB FACE BRICK	LMS LIMESTONE	RVT RIVET
AL ALUMINUM	FBD FIBERBOARD	LMT LUMEN	RWC RAW WATER CONDUCTOR
ALT ALTERNATE	FBK FIRE BRICK	LND LOCATION	S SOUTH
ANC ANCHOR (AGE)	FBO FINISHED BY OTHERS	LP LIGHTPROOF	SC SOLID CORE
ANOD ANODIZED	FD FLOOR DRAIN	LPT LIGHTPOINT	SCH SCHEDULE
AP ACCESS PANEL	FE FIRE EXTINGUISHER	LTL LOW POINT	SCR SCREW
APPROX APPROXIMATE	FEC FIRE EXTINGUISHER CABINET	LT LIGHT	SCR SCREEN
ARCH ARCHITECT	FF FACTORY FINISH	LTL LINTEL	SCS STRUCTURAL CLAY TILE
ASB ASBESTOS	FFE FINISHED FLOOR ELEVATION	LVR LOUVER	SD STORM DRAIN
ARCH ARCHITECT	FL FINISHED FLOOR LINE	LW LIGHTWEIGHT	SEC SECT
ASPH ASPHALT	FGL FIBERGLASS	M METER	SEL SELECT
ASPH/FL ASPHALT FL	FHC FIRE HOSE CABINET	MAS MASONRY	SG SHEET GLASS
AUTO AUTOMATIC	FHMS FLATHEAD MACHINE SCREW	MATL MATERIAL	SGL SAFETY GLASS
BBD BULLETIN BOARD	FHVS FLATHEAD WOOD SCREW	MAX MAXIMUM	SH SHELF SHELVING
BO BOARD	FHS FIRE HOSE STATION	MB MACHINE BOLT	SHT SHEET
BEL BELOW	FIR FIRE	MBR MEMBER	SHS SHEATHING
BET BETWEEN	FIX FIXTURE	MC MEDICINE CABINET	SHR SHORE
BIT BITUMINOUS	FJT FLUSH JOINT	FLO FLOOR CLEANOUT	SIM SIMILAR
BJT BED JOINT	FL FLASHING	FIR FLOOR	SFRM SPRAY-APPLIED FIRE RESISTIVE MATERIAL
BLK BLOCKING	FLO FLOOR CLEANOUT	FIR FLOOR	SKY SKYLIGHT
BLDG BUILDING	FL FLOOR FLOORS/SCENT	FND FOUNDATION	SL SLEEVE
BM BEAM	FN FENCE	FO FINISHED OPENING	SLD SLIDING
BM BENCHMARK	FND FOUNDATION	FOC FACE OF CONCRETE	SM SMOOTH
BO BOTTOM OF	FNF FINISHED OPENING	FOF FACE OF FINISH	SN SEALANT
BP BACK PLASTER	FOC FACE OF CONCRETE	FOS FACE OF STUDS	SP SOUND PROOF
BPL BEARING PLATE	FOS FACE OF MASONRY	FRA FRESH AIR	SPC SPACER
BRG BEARING	FOS FACE OF MASONRY	FR FRAME	SPEC SPECIFICATION
BRK BRICK	FOS FACE OF STUDS	FRM FRAMING	SPK SPEAKER
BRZ BRONZE	FOS FACE OF STUDS	FRS FIRE RESISTANT COATING	SPS SPECIAL
BS BOTH SIDES	BSMT BASEMENT	FRG FORGED	SQ SQUARE
BSMT BASEMENT	BUP BUILT UP ROOFING	FRG FORGED	SS STAINLESS STEEL
BV BEVEL	BUP BUILT UP ROOFING	FRG FORGED	SAS STAIN & SEAL
BW BOTH WAYS	BUP BUILT UP ROOFING	FRG FORGED	SSS STAIN & SEAL
CAB CABINET	CA CATCH BASIN	FRG FORGED	ST STEEL
CAD CADMIUM	CEM CEMENT	FRG FORGED	STA STATION
CA CATCH BASIN	CEM CEMENT	FRG FORGED	STG STANDARD
CER CERAMIC	CEM CEMENT	FRG FORGED	STG SEATING
CFT CUBIC FOOT	CEM CEMENT	FRG FORGED	STN STAINLESS STEEL
CG CENTIGRAM	CEM CEMENT	FRG FORGED	STD STORAGE
CG CORNER GUARD	CEM CEMENT	FRG FORGED	STR STRUCTURAL
CI CAST IRON	CEM CEMENT	FRG FORGED	STRUC STRUCTURE
CI CAST IRON	CEM CEMENT	FRG FORGED	SUSP SUSPENDED
CI CAST IRON	CEM CEMENT	FRG FORGED	SWD SWITCHBOARD
CI CAST IRON	CEM CEMENT	FRG FORGED	SYM SYMMETRICAL
CI CAST IRON	CEM CEMENT	FRG FORGED	SYN SYNTHETIC
CI CAST IRON	CEM CEMENT	FRG FORGED	SYS SYSTEM
CI CAST IRON	CEM CEMENT	FRG FORGED	T TREAD
CI CAST IRON	CEM CEMENT	FRG FORGED	TB TOWEL BAR
CI CAST IRON	CEM CEMENT	FRG FORGED	TC TERRA COTTA
CI CAST IRON	CEM CEMENT	FRG FORGED	TD TOP OF DRAIN
CI CAST IRON	CEM CEMENT	FRG FORGED	TEL TOP OF STEEL DECK
CI CAST IRON	CEM CEMENT	FRG FORGED	TEP TEMPERED GLASS
CI CAST IRON	CEM CEMENT	FRG FORGED	TR TONGUE AND GROOVE
CI CAST IRON	CEM CEMENT	FRG FORGED	TKB THICK
CI CAST IRON	CEM CEMENT	FRG FORGED	THR THRESHOLD
CI CAST IRON	CEM CEMENT	FRG FORGED	TBD TACKBOARD
CI CAST IRON	CEM CEMENT	FRG FORGED	TKS TACKSTRIP
CI CAST IRON	CEM CEMENT	FRG FORGED	TO TOP OF
CI CAST IRON	CEM CEMENT	FRG FORGED	TDL TOLERANCE
CI CAST IRON	CEM CEMENT	FRG FORGED	TPN TOILET PAPER DISPENSER
CI CAST IRON	CEM CEMENT	FRG FORGED	TPN TOILET PARTITION
CI CAST IRON	CEM CEMENT	FRG FORGED	TR TRANSOM
CI CAST IRON	CEM CEMENT	FRG FORGED	TSD TOP OF STEEL DECK
CI CAST IRON	CEM CEMENT	FRG FORGED	TSL TOP OF SLAB
CI CAST IRON	CEM CEMENT	FRG FORGED	TST TOP OF STEEL
CI CAST IRON	CEM CEMENT	FRG FORGED	TV TELEVISION
CI CAST IRON	CEM CEMENT	FRG FORGED	TW TOP OF WALL
CI CAST IRON	CEM CEMENT	FRG FORGED	TY TYPICAL
CI CAST IRON	CEM CEMENT	FRG FORGED	TZ TERRAZZO
CI CAST IRON	CEM CEMENT	FRG FORGED	U UNDERCUT
CI CAST IRON	CEM CEMENT	FRG FORGED	UNF UNFINISHED
CI CAST IRON	CEM CEMENT	FRG FORGED	UNO UNLESS NOTED OTHERWISE
CI CAST IRON	CEM CEMENT	FRG FORGED	UR URINAL
CI CAST IRON	CEM CEMENT	FRG FORGED	V VENT
CI CAST IRON	CEM CEMENT	FRG FORGED	VAR VARNISH
CI CAST IRON	CEM CEMENT	FRG FORGED	VAT VINYL ASBESTOS TILE
CI CAST IRON	CEM CEMENT	FRG FORGED	VB VAPOR BARRIER
CI CAST IRON	CEM CEMENT	FRG FORGED	VB VINYL BASE
CI CAST IRON	CEM CEMENT	FRG FORGED	VCT VINYL COMPOSITION TILE
CI CAST IRON	CEM CEMENT	FRG FORGED	VCP VITREOUS CLAY PIPE
CI CAST IRON	CEM CEMENT	FRG FORGED	VERT VERTICAL
CI CAST IRON	CEM CEMENT	FRG FORGED	VEST VESTIBULE
CI CAST IRON	CEM CEMENT	FRG FORGED	VF VINYL FABRIC
CI CAST IRON	CEM CEMENT	FRG FORGED	VG VERTICAL GRAIN
CI CAST IRON	CEM CEMENT	FRG FORGED	VN VINYL
CI CAST IRON	CEM CEMENT	FRG FORGED	VNR VENERE
CI CAST IRON	CEM CEMENT	FRG FORGED	VNM VERNICULITE
CI CAST IRON	CEM CEMENT	FRG FORGED	VT VINYL TILE
CI CAST IRON	CEM CEMENT	FRG FORGED	W WEST
CI CAST IRON	CEM CEMENT	FRG FORGED	W WIDTH WIDE
CI CAST IRON	CEM CEMENT	FRG FORGED	W WITH
CI CAST IRON	CEM CEMENT	FRG FORGED	WB WOOD BASE
CI CAST IRON	CEM CEMENT	FRG FORGED	WC WATER CLOSET
CI CAST IRON	CEM CEMENT	FRG FORGED	WD WOOD
CI CAST IRON	CEM CEMENT	FRG FORGED	WDW WINDOW
CI CAST IRON	CEM CEMENT	FRG FORGED	WF WIDE FLANGE
CI CAST IRON	CEM CEMENT	FRG FORGED	WG WIRED GLASS
CI CAST IRON	CEM CEMENT	FRG FORGED	WH WALL HUNG
CI CAST IRON	CEM CEMENT	FRG FORGED	WHR WATER HEATER
CI CAST IRON	CEM CEMENT	FRG FORGED	WBH WHEEL BUMPER
CI CAST IRON	CEM CEMENT	FRG FORGED	WI WROUGHT IRON
CI CAST IRON	CEM CEMENT	FRG FORGED	WM WIRE MESH
CI CAST IRON	CEM CEMENT	FRG FORGED	WIO WITHOUT
CI CAST IRON	CEM CEMENT	FRG FORGED	WP WATER PROOFING
CI CAST IRON	CEM CEMENT	FRG FORGED	WPT WORKING POINT
CI CAST IRON	CEM CEMENT	FRG FORGED	WR WATER REPELLANT
CI CAST IRON	CEM CEMENT	FRG FORGED	WS WATER STOP
CI CAST IRON	CEM CEMENT	FRG FORGED	WY WALL TO WALL
CI CAST IRON	CEM CEMENT	FRG FORGED	WW WINDOW WALL
CI CAST IRON	CEM CEMENT	FRG FORGED	WWF WELDED WIRE FABRIC
CI CAST IRON	CEM CEMENT	FRG FORGED	WWM WELDED WIRE MESH

**NOTES:**

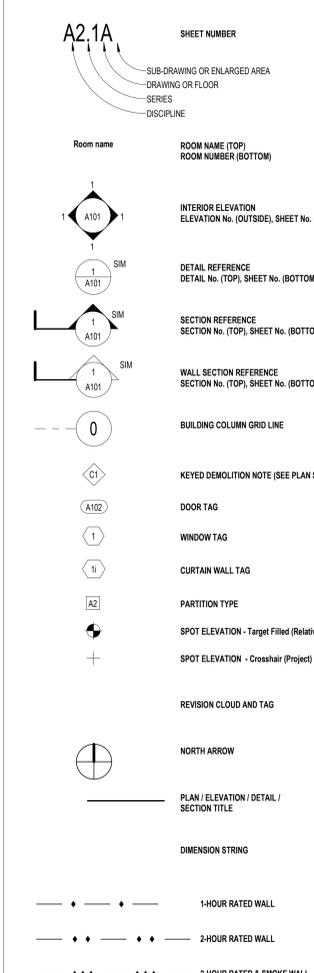
- GENERAL CONDITIONS:**
- ALL CONTRACTORS SHALL BE RESPONSIBLE TO INSTALL ALL ITEMS SPECIFIED USING CONSTRUCTION THAT WILL PROTECT AT ALL TIMES PROPERTY AND PREVENT BODILY INJURY AND/ OR DEATH. SPECIAL ATTENTION AND PRECAUTION SHALL BE PAID BY THE CONTRACTORS IN SELECTING THE SAFEST METHODS OR MEANS FOR THE INSTALLATION.
  - THE ARCHITECT/ ENGINEER HAS NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK. JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND SHALL NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
  - ALL WORK SHALL BE EXECUTED IN A WORKMAN LIKE MANNER AND IN STRICT ACCORDANCE WITH FEDERAL, STATE AND LOCAL CODES AND ORDINANCES AND ALL AUTHORITIES HAVING JURISDICTION AND ACCEPTED BY THE ARCHITECT AND LEFT IN PERFECT OPERATING CONDITION.
  - ALL CONTRACTORS SHALL VISIT THE SITE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS PRIOR TO SUBMITTING THE FINAL BID. IF THERE ARE ANY DISCREPANCIES, NOTIFY THE ARCHITECT AT ONCE.
  - ALL CONTRACTORS SHALL CAREFULLY REVIEW THE DRAWINGS AND OTHER CONTRACT DOCUMENTS PRIOR TO SUBMITTING THE FINAL BID. IF THERE ARE ANY DISCREPANCIES, EACH CONTRACTOR SHALL NOTIFY THE ARCHITECT AT ONCE.
  - ALL WORK SHALL BE PERFORMED IN A WORKMAN LIKE MANNER. EACH CONTRACTOR SHALL INCLUDE LABOR, MATERIALS, TOOLS, EQUIPMENT, ETC. FOR THE COMPLETE CONSTRUCTION OF WORK INDICATED AND SPECIFIED BY THE DRAWINGS AND SPECIFICATION. MATERIALS AS SPECIFIED ON DRAWINGS SHALL BE USED. SUBSTITUTIONS OF MATERIALS WILL NOT BE ALLOWED WITHOUT THE WRITTEN CONSENT OF THE OWNER. CONTRACTOR SHALL AMEND AND MAKE GOOD AT THEIR OWN COST, ANY DEFECTS OR OTHER FAILURES IN THEIR WORKMANSHIP AND/OR MATERIAL. CONTRACTORS SHOULD CLEAN UP DEBRIS INSIDE AND OUTSIDE THE BUILDING SITE WHICH HAS BEEN CAUSED BY THEIR WORK.
  - NON-BEARING PARTITIONS ARE TO BE LEAD UP SO THAT STOCK COMPONENTS WILL FIT EXACTLY WITHIN INDICATED DIMENSIONS. THE GENERAL TRADES CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH WORK AND NOTIFY ARCHITECT AT ONCE OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.
  - PLUMBING SCHEMATIC DRAWINGS, HVAC DRAWINGS, SEWER MAINS, ELECTRICAL OUTLETS, SWITCHES, LIGHT LOCATIONS FOR ROUTING ALL PLUMBING, MECHANICAL AND ELECTRICAL WORK IS TO BE COORDINATED BETWEEN THE TRADES AFFECTED BY THE WORK AS PART OF THEIR INSTALLATION LAYOUT. NO PLUMBING, MECHANICAL, OR ELECTRICAL INFORMATION IS TO BE SCALED FROM THE DRAWINGS. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR.
  - DO NOT SCALE DRAWINGS.

- GENERAL CONSTRUCTION NOTES:**
- PROJECT COORDINATOR SHALL PROVIDE A LOGISTICS PLAN TO THE ARCHITECT AND OWNER FOR REVIEW AND APPROVAL PRIOR TO COMMENCING WORK. THE LOGISTICS PLAN IS TO INCLUDE ALL ROUTING OF VEHICLES, EQUIPMENT, DELIVERY LOCATIONS, FENCING, SECURITY MEASURES, ETC. ANY EXISTING CONDITIONS TO REMAIN THAT ARE DAMAGED DUE TO CONSTRUCTION ARE TO BE RESTORED TO THEIR ORIGINAL CONDITION. THIS INCLUDES, BUT IS NOT LIMITED TO, SIDEWALKS, LANDSCAPING, IRRIGATION, ROADS, PARKING LOTS, BUILDING CONSTRUCTION, ETC.
  - EACH CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AT THE BUILDING SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK. WRITTEN DIMENSIONS ON DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
  - EACH CONTRACTOR SHALL BE RESPONSIBLE FOR UNLOADING, STORING, INSPECTION FOR DAMAGE (WHEN RECEIVED AND LOSS FROM SITE AND/ OR DAMAGE AFTER RECEIPT FOR ALL MATERIALS FURNISHED BY OWNER.
  - NO PRODUCT SUBSTITUTION WILL BE ALLOWED WITHOUT THE WRITTEN APPROVAL OF THE OWNER OR OWNERS REPRESENTATIVE.
  - ALL WORK TO BE NEW EXCEPT WHERE INDICATED AS EXISTING.
  - EACH CONTRACTOR SHALL INSURE THAT ALL BUILDING WORK WILL COMPLY WITH APPLICABLE NATIONAL, STATE AND LOCAL CODES GOVERNING AUTHORITIES AND UNDERWRITER REGULATIONS.
  - ALL OPENINGS AND OTHER PROVISIONS NECESSARY FOR INSTALLATION OF ARCHITECTURAL, PLUMBING, MECHANICAL, FIRE PROTECTION, ELECTRICAL OR OWNERS APPARATUS AND EQUIPMENT MUST BE VERIFIED WITH THE SPECIFIC TRADES INVOLVED AND OWNERS REPRESENTATIVE PRIOR TO INSTALLATION AND MUST BE OF SIZE, LOCATION, CONFIGURATION, ETC., REQUIRED.
  - ALL CONTRACTORS MUST EXERCISE EXTREME CARE SO AS NOT TO DAMAGE EXISTING CONSTRUCTION ITEMS AND SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
  - ALL NEW PARTITIONS WHICH ARE TO EXTEND TIGHT UP TO THE FLOOR OR ROOF CONSTRUCTION ABOVE, ARE TO BE CUT TO FIT AROUND BEAMS, JOISTS, DUCTS, CONDUITS, PIPES, HANGERS, ETC. ALL SUCH CUTS SHALL BE ACCURATE AND STRAIGHT AND BE SEALED WITH MORTAR OR TAPE AND COMPOUND AND MADE AIRTIGHT.
  - AT ALL LOCATIONS WHERE FLOOR SLAB IS TO BE CUT TO PROVIDE FOR NEW FLOOR POWER OR PLUMBING, SLAB IS TO BE REPAIRED FLUSH WITH AND TO MATCH EXISTING ADJACENT FLOOR SLAB CONSTRUCTION.

- GENERAL DEMOLITION NOTES (REMOVE IF ALL NEW CONSTRUCTION):**
- INTERFERENCE OF DEMOLITION**  
ALL CONTRACTORS IF THE DEMOLITION CANNOT PROCEED BECAUSE OF UNFORESEEN EXISTING STRUCTURAL OR MECHANICAL, ETC. CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY REPORT THE CONDITION TO THE ARCHITECT.
  - FIRE PROTECTION DURING DEMOLITION AND NEW CONSTRUCTION**  
ALL CONTRACTORS, THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL FIRE PROTECTION MEASURES AND EQUIPMENT DURING DEMOLITION AND NEW CONSTRUCTION AT THE DIRECTION OF THE FIRE PREVENTION OFFICER AT THE FIRE PROTECTION DISTRICT OFFICE.
  - COORDINATION OF DEMOLITION**  
ALL CONTRACTORS SHALL PROCEED WITH THE DEMOLITION IN A LOGICAL ORDER AND SHALL COORDINATE THE DEMOLITION WITH OTHER TRADES. EACH PHASE OF THE DEMOLITION SHALL BE PRECEDED BY INVESTIGATION OF THE AREA FOR REMOVAL, RELOCATION, DISCONNECTION OR REROUTING OF EXISTING ELEMENTS. PRIORITY OF DEMOLITION SHOULD BE:  
A. GENERAL TRADES CONTRACTOR: ARCHITECTURAL  
B. HEATING, A/C AND VENTILATION CONTRACTORS: MECHANICAL WORK  
C. FIRE PROTECTION CONTRACTOR: FIRE PROTECTION WORK  
D. ELECTRICAL CONTRACTOR: ELECTRICAL WORK  
E. PLUMBING CONTRACTOR: PLUMBING WORK

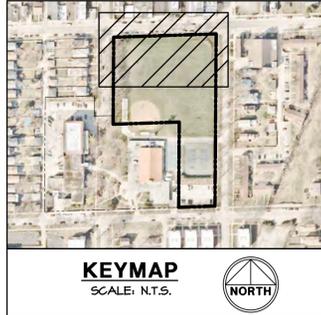
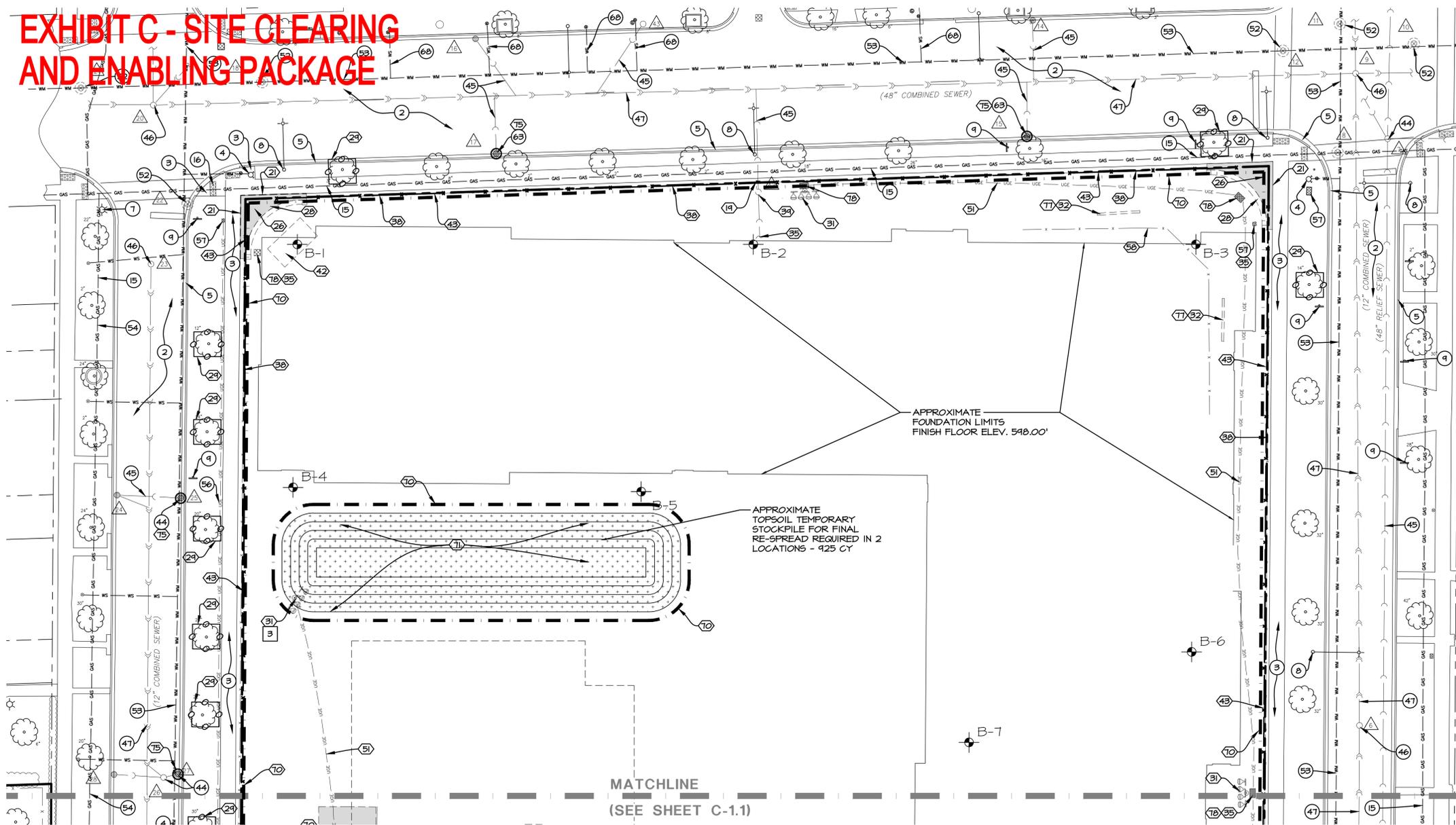
- GENERAL DEMOLITION NOTES (CONTINUED- REMOVE IF ALL NEW CONSTRUCTION):**
- SALVAGED ITEMS  
WHERE INDICATED ON THE DRAWINGS, "SALVAGE", ITEMS MUST BE CAREFULLY REMOVED, CLEANED AND STORED IN SUCH A WAY AS TO PREVENT DAMAGE, TRANSPORT AND STORE ITEMS OFF SITE OR WITHIN THE AREA OF WORK IN A LEGAL MANNER, UNLESS DIRECTED BY OWNER TO TRANSPORT SAID MATERIALS TO OWNERS STORAGE AREA.
  - REMOVAL OF EXISTING DOORS AND FRAMES  
A. GENERAL TRADES CONTRACTOR: DOORS AND FRAMES THAT ARE TO BE REMOVED ARE INDICATED BY DASHED LINES ON THE DRAWINGS.  
B. GENERAL TRADES CONTRACTOR: ANY EXISTING DOORS & FRAMES TO BE REMOVED, TO ALLOW THE OPENING TO BE FILLED AS PER THE NEW CONSTRUCTION DRAWINGS, SHALL BE REMOVED WITH THE ENTIRE FRAME, ANCHORS AND SILLS.  
C. EXISTING WALL OR PARTITION DEMOLITION  
A. GENERAL TRADES CONTRACTOR: WHEN REMOVING PORTIONS OR COMPLETE INTERIOR WALLS, INVESTIGATION MUST BE MADE TO DETERMINE IF THE WALL IS BEARING STRUCTURAL LOADS. IF IT IS DETERMINED THAT THE WALL IS BEARING, NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH DEMOLITION. IF THE WALL IS NON-BEARING, PROCEED WITH DEMOLITION TAKING CARE THAT INTERACTING WALLS OR REMAINING WALLS ARE CUT CLEAN TO MINIMIZE FILLING AND PATCHING OF THE REMAINING PARTITION.  
B. GENERAL TRADES CONTRACTOR: IF THE REMOVAL OF AN INTERIOR PARTITION DISTURBS THE EXISTING GELING THAT IS TO REMAIN, CARE MUST BE TAKEN TO REMOVE AS LITTLE OF THE GELING AS POSSIBLE AND PROTECT THE ADJACENT CEILING FROM DAMAGE. (UNLESS NOTED OTHERWISE)  
C. GENERAL TRADES CONTRACTOR: IF THE PARTITION DEMOLITION INVOLVES DEMOLITION OF THE FLOORING IN THE AREA, CARE IS TO BE TAKEN TO MINIMIZE DAMAGE TO THE EXISTING FLOORING.  
D. ELECTRICAL CONTRACTOR: INVESTIGATE ALL EXISTING WIRING IN THE AREAS OF DEMOLITION TO DETERMINE WHICH CIRCUITS CAN BE ABANDONED, AND IF ANY CIRCUITS MUST BE MAINTAINED TO SUPPLY OTHER AREAS. REMOVE ALL WIRING AND CONDUITS TO BE ABANDONED. RELOCATE ALL CIRCUITS TO BE MAINTAINED OR CLEAR NEW CONSTRUCTION.  
E. ALL CONTRACTORS: ALL FINISHES SHALL BE PATCHED TO MATCH FROM IMPLEMENTATION OF WORK.
  - PARTIAL REMOVAL OF EXISTING WALLS OR PARTITIONS  
A. GENERAL TRADES CONTRACTOR: WHEN REMOVING PART OF A MASONRY WALL OR PARTITION TO ALLOW FOR THE INSTALLATION OF A NEW DOOR, CUTTING OF THE NEW MASONRY OPENING SHOULD BE ACCOMPLISHED IN A MANNER THAT RESULTS IN AS SMOOTH AN OPENING AS POSSIBLE.  
B. GENERAL TRADES CONTRACTOR: PROVIDE TEMPORARY SHORING, BRACING AND OTHER SUPPORT NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, COLLAPSE OR OTHER DAMAGE TO THE STRUCTURE OR ADJACENT WALLS.  
C. DEMOLITION OF MECHANICAL/ PLUMBING/ ELECTRICAL SYSTEMS  
A. IT WILL BE THE ASSOCIATED CONTRACTORS RESPONSIBILITY TO MAINTAIN THE CONDITION OF ALL REMAINING PIPING, CONDUIT, EQUIPMENT, ETC. WITHIN THEIR SCOPE OF WORK DURING DEMOLITION.  
B. ALL CONTRACTORS: NOTIFY OWNER PRIOR TO ANY DEMOLITION OF UTILITIES OR SERVICES WHICH MAY AFFECT REMAINING OCCUPIED AREAS.  
C. ALL CONTRACTORS: MAKE NECESSARY MODIFICATIONS AND ADJUSTMENTS TO ALL MECHANICAL, PLUMBING, AND ELECTRICAL ITEMS AND EQUIPMENT, BOTH NEW AND EXISTING, AS MAY BE REQUIRED BY THESE ALTERATIONS AND ADDITIONS.  
D. PLUMBING CONTRACTOR: CAP ALL PLUMBING ABANDONED DURING DEMOLITION EITHER BELOW FINISH FLOOR LEVEL, ABOVE CEILING OR BEHIND FINISH WALL SURFACE. REROUTE PLUMBING THAT IS TO REMAIN IN SERVICE, AS REQUIRED, TO CLEAR NEW CONSTRUCTION.  
E. HEATING & A/C, VENTILATION, ELECTRICAL, PLUMBING, AND FIRE PROTECTION CONTRACTORS DISCONNECT AT SOURCE AND REMOVE EXISTING ELECTRICAL MATERIALS AND EQUIPMENT AND ALL OTHER MECHANICAL/PLUMBING ITEMS WHICH ARE RENDERED OBSOLETE BY THESE ALTERATIONS AND ADDITIONS. THESE ARE THE PROPERTY OF THE OWNER AND SHALL EITHER BE REMOVED FROM THE SITE OR RETURNED TO THE OWNER'S STOCK AT THE DISCRETION OF THE OWNER.  
F. HEATING & A/C AND VENTILATION CONTRACTORS: DISCONNECT, REMOVE AND RELOCATE EXISTING MECHANICAL MATERIALS AND EQUIPMENT, AND ALL OTHER MECHANICAL ITEMS WHICH INTERFERE OR ARE INTERFERED WITH, OBSTRUCT OR ARE OBSTRUCTED BY THESE LOCATIONS AS DIRECTED. RECONNECT SUCH ITEMS IN PROPER OPERATING CONDITION AT NEW LOCATIONS.  
G. ALL CONTRACTORS: ALL CUTTING AND PATCHING AS REQUIRED FOR WORK IS TO BE INCLUDED IN ASSOCIATED SCOPE OF WORK. FINISH WORK SHALL BE BY FINISHING CONTRACTOR BUT UNDER THE GENERAL CONTRACTORS CONTRACT.  
H. ALL CONTRACTORS ARE RESPONSIBLE TO VISIT THE SITE TO DETERMINE THE EXTENT OF DEMOLITION AND PATCHING AS REQUIRED TO INSTALL THEIR PORTION OF WORK.  
I. REFER TO ALL DRAWINGS FOR FULL EXTENT OF DEMOLITION WORK. GENERAL TRADES CONTRACTOR TO INSURE ALL WALL OR FLOOR MOUNTED OBJECTS TO BE REMOVED AND EXISTING TO BE PREPARED FOR NEW FINISHES.  
J. ALL CONTRACTORS SHALL VISIT AND INSPECT THE EXISTING BUILDING AND SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL ACTUAL JOB CONDITIONS BEFORE SIGNING CONTRACTS. NO EXTRAS WILL BE ALLOWED FOR WORK WHICH MIGHT HAVE BEEN REASONABLY FORESEEN BY AN INSPECTION OF THESE PREMISES.  
K. WHILE THE SIZE AND LOCATION OF NEW WORK AND EQUIPMENT IN THE EXISTING BUILDING HAS BEEN INDICATED ON THE DRAWINGS AS ACCURATELY AS POSSIBLE, ALL PRIME CONTRACTORS SHALL ADJUST THEIR WORK AS REQUIRED TO AVOID EXISTING DUCTS, PIPES, CONDUITS AND BEAMS NOT SHOWN ON PLANS. ALL CONTRACTORS SHALL ADAPT THEIR WORK TO MEET ALL ACTUAL CONDITIONS ON THE EXISTING PREMISES.  
L. ALL CONTRACTORS SHALL INSPECT THE PREMISES AND MAKE A DETAILED EXAMINATION OF ALL LOCATIONS WHERE NEW WORK IS TO BE INSTALLED AND SHALL EXAMINE EXISTING PIPING, CONDUITS, STRUCTURAL SUPPORTING BEAMS, ETC.  
M. ALL CONTRACTORS AFTER INSPECTING THE PREMISES AND THE DRAWINGS SHALL CALL TO THE ATTENTION OF THE ARCHITECT ANY LACK OF ANY NECESSARY SPACE OR CLEARANCE REQUIRED BY THE VARIOUS EQUIPMENT BEFORE CONTRACT IS SIGNED. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR ALL CHANGES NECESSARY IF THEY NEGLECT TO DO SO.  
N. ALL CONTRACTORS ARE TO PROVIDE TEMPORARY MEANS TO KEEP EXISTING BUILDING WEATHER TIGHT DURING DEMOLITION AND CONSTRUCTION.  
O. IF ASBESTOS OR HAZARDOUS MATERIALS ARE FOUND AT THE SITE, CONTACT THE OWNER AND ARCHITECT IMMEDIATELY.

**SYMBOLS LEGEND:**



JOB NUMBER	22-1026
DATE	6/7/2024
REVISIONS	
ISSUE FOR BID GROUP #1	

# EXHIBIT C - SITE CLEARING AND ENABLING PACKAGE



- ### HATCH LEGEND
- ASPHALT PAVEMENT TO BE REMOVED FULL DEPTH
  - CONCRETE TO BE REMOVED FULL DEPTH
  - TEMPORARY STABILIZED CONSTRUCTION ENTRANCE
  - SUGGESTED LOCATION OF THE TEMPORARY STOCKPILE AREA. GENERAL GRASS SEED MIX TO BE APPLIED TO TOPSOIL STOCK PILE IF TOPSOIL STOCK PILE IS DORMANT FOR MORE THAN 3 DAYS.

- ### SITE DEMOLITION NOTES:
- A. CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS.
  - B. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND COORDINATE ALL DEMOLITION WITH THE MUNICIPALITY AND OWNERS REPRESENTATIVE TO ENSURE PROTECTION AND MAINTENANCE OF SANITARY AND WATER UTILITIES AS NECESSARY AND TO PROVIDE STORM WATER CONVEYANCE UNTIL NEW FACILITIES ARE CONSTRUCTED, TESTED, AND PLACED IN OPERATION.
  - C. CONTRACTOR SHALL DEVELOP AND IMPLEMENT A DAILY PROGRAM OF DUST CONTROL PROCEDURES PRIOR TO DEMOLITION OF ANY STRUCTURES. MODIFICATION OF DUST CONTROL PROCEDURES SHALL BE PERFORMED BY THE CONTRACTOR TO THE SATISFACTION OF THE MUNICIPALITY AND COMPLY WITH THE NPDES II REQUIREMENTS OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY AND THE INDIVIDUAL STORM WATER POLLUTION PREVENTION PLAN FOR THIS PROJECT.
  - D. ALL EXISTING TREES, BRUSH AND MISCELLANEOUS VEGETATION TO BE REMOVED OR DEMOLISHED SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF BY THE CONTRACTOR.
  - E. VOIDS LEFT BY ANY ITEM REMOVED UNDER ANY PROPOSED BUILDING, PAVEMENT, OR WALK OR WITHIN 24' THEREOF SHALL BE BACKFILLED WITH ENGINEERED FILL ACCORDING TO THE GEOTECHNICAL REPORT.
  - F. ALL EXISTING BUILDINGS, FOUNDATIONS, CONCRETE OR ASPHALT PAVEMENT OR WALKS, CURB AND GUTTER AND MISCELLANEOUS STRUCTURES (INCLUDING, BUT NOT LIMITED TO FENCES, POLES, YARD LIGHTS, ELECTRICAL PANELS, AND MISCELLANEOUS DEBRIS) INDICATED TO BE DEMOLISHED SHALL BE REMOVED OR DEMOLISHED AND REMOVED FROM THE SITE AND DISPOSED OF LEGALLY BY THE CONTRACTOR. CONTACT GAS COMPANY PRIOR TO DEMOLITION. LOCATION OF EXISTING GAS SERVICES ARE UNKNOWN.
  - G. ALL EXISTING TREES SHALL REMAIN UNLESS OTHERWISE NOTED.
  - H. ALL EXISTING UTILITIES SHALL REMAIN UNLESS OTHERWISE NOTED.
  - I. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
  - J. CONTRACTOR SHALL PROVIDE REMOVAL AND REPLACEMENT AND SHORING AS NECESSARY TO MEET OSHA AND LOCAL CODE, AS WELL AS MANUFACTURER'S REQUIREMENTS.
  - K. ALL FOUNDATIONS FOR ALL FENCES, SIGNS, ETC. NOTED FOR REMOVAL SHALL BE REMOVED AND LEGALLY DISPOSED OF OFFSITE.
  - L. PROOF-ROLLING SHALL BE PERFORMED FOR ALL SUBGRADE PRIOR TO CONSTRUCTION OF NEW PAVEMENT. ALL SUBGRADE PROOF-ROLLING SHALL BE WITNESSED AND APPROVED BY A MATERIALS TESTING AGENCY TO BE HIRED BY THE OWNER. CONTRACTOR TO COORDINATE ALL PROOF-ROLLING WITH THE MATERIALS TESTING AGENCY. CONTRACT THE ENGINEER AND MATERIAL TESTING AGENCY SO THAT THEY MAY WITNESS THE PROOF ROLL. PROOF ROLL SHALL BE PROVIDED FOR ALL PAVEMENT AREAS SPECIFIED FOR FULL DEPTH REMOVAL AND REPLACEMENT.
  - M. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE BOUNDARY AND TOPOGRAPHIC SURVEY LAST DATED 3-6-23, PREPARED BY WT GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
  - N. SEE SHEETS SUR-1 TO SUR-4 "BOUNDARY AND TOPOGRAPHIC SURVEY" FOR ALL EXISTING LOCATED UTILITY DATA.
  - O. CLEAR SITE AS NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS.
  - P. ALL ITEMS MARK "EXISTING OR EXISTING TO REMAIN" TO BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION.
  - Q. CONTRACTOR TO PROVIDE SOIL TESTING SERVICES FOR COMPLETION OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY'S LPC-662 AND/OR LPC-663 FORMS AS PART OF THEIR CONTRACT.
  - R. ALL EXISTING UTILITIES TO BE ABANDONED IN PLACE SHALL BE CAPPED WITH 2' (MIN) NON-SHRINK CONCRETE MORTAR PLUGS AT BOTH ENDS.

### EXISTING UTILITY DATA

- |  |  |   |
|--|--|---|
| 1. RIM=595.56' (COMBINATION)<br>48" CONCRETE STRUCTURE<br>INV=589.54' (12" PVC N)<br>INV=589.54' (12" PVC S)                                       | 2. RIM=595.61' (STORM)<br>48" CONCRETE STRUCTURE<br>592.90' AT TOP OF SNORKEL<br>8" DIP SE     | 3. RIM=595.62' (STORM)<br>24" CONCRETE STRUCTURE<br>INV=593.14' (8" DIP W)  |
| 4. RIM=596.40' (STORM)<br>48" CONCRETE STRUCTURE<br>INV=591.37' (48" RCP N/S)<br>INV=591.60' (12" DIP E)<br>INV=592.63' (12" DIP NW)               | 5. RIM=595.55' (STORM)<br>48" CONCRETE STRUCTURE<br>592.96' AT TOP OF 8" SNORKEL<br>8" DIP NNW | 6. RIM=595.93' (STORM)<br>48" CONCRETE STRUCTURE<br>INV=592.56' (8" DIP W)<br>593.07' AT TOP OF SNORKEL<br>8" DIP NNW |
| 7. RIM=596.25' (WATER)<br>48" CONCRETE STRUCTURE<br>591.60' AT TOP OF 6" DIP N/S   | 8. RIM=596.74' (WATER)<br>48" CONCRETE STRUCTURE<br>590.99' AT TOP OF 12" DIP E/W              | 9. RIM=595.44' (STORM)<br>24" CONCRETE STRUCTURE<br>INV=592.80' (8" DIP SW)   |
| 8. RIM=596.98' (COMBINATION)<br>84" CONCRETE STRUCTURE<br>INV=589.03' (12" PVC S)<br>INV=589.95' (18" PVC E & W)<br>588.95' AT BOTTOM OF STRUCTURE | 9. RIM=596.27' (WATER)<br>48" CONCRETE STRUCTURE<br>591.93' AT TOP OF 6" DIP N/S               | 10. RIM=595.91' (STORM)<br>24" CONCRETE STRUCTURE<br>INV=592.93' (8" DIP E)   |
| 9. RIM=596.84' (WATER)<br>60" CONCRETE STRUCTURE<br>591.30' AT TOP OF 12" DIP E/W  | 10. RIM=597.09' (STORM)<br>36" BRICK STRUCTURE<br>591.66' AT BOTTOM OF ELBOW<br>8" CLAY N      | 11. RIM=595.91' (STORM)<br>24" CONCRETE STRUCTURE<br>INV=592.41' (4" CLAY S)  |
| 10. RIM=596.62' (WATER)<br>48" CONCRETE STRUCTURE<br>591.99' AT TOP OF 6" DIP  | 11. RIM=597.06' (STORM)<br>48" CONCRETE STRUCTURE<br>591.08' AT TOP OF 12" DIP E/W             | 12. RIM=595.91' (STORM)<br>24" CONCRETE STRUCTURE<br>INV=592.62' (8" DIP E)   |
| 11. RIM=596.96' (WATER)<br>60" CONCRETE STRUCTURE<br>591.14' AT TOP OF 12" DIP E/W   | 12. RIM=595.93' (STORM)<br>48" CONCRETE STRUCTURE<br>589.70' AT TOP OF 6" DIP N/S              | 13. RIM=595.23' (COMBINATION)<br>48" CONCRETE STRUCTURE<br>590.27' (12" PVC S)  |
| 12. RIM=595.93' (STORM)<br>48" CONCRETE STRUCTURE<br>593.62' AT TOP OF SNORKEL<br>8" DIP S   | 13. RIM=595.79' (STORM)<br>48" CONCRETE STRUCTURE<br>INV=592.62' (8" DIP E)                    | 14. RIM=595.89' (STORM)<br>48" CONCRETE STRUCTURE<br>593.70' AT TOP OF SNORKEL<br>8" DIP N                            |
| 13. RIM=596.62' (WATER)<br>48" CONCRETE STRUCTURE<br>593.16' AT WATER LEVEL<br>588.77' AT BOTTOM OF STRUCTURE                                      | 14. RIM=595.89' (STORM)<br>48" CONCRETE STRUCTURE<br>593.34' AT TOP OF SNORKEL<br>8" DIP SE    | 15. RIM=595.89' (STORM)<br>48" CONCRETE STRUCTURE<br>593.98' AT WATER LEVEL<br>590.54' AT BOTTOM OF STRUCTURE         |

### GENERAL PROJECT NOTES:

1. EXISTING BUILDING TO REMAIN.
2. EXISTING ASPHALT PAVEMENT TO REMAIN.
3. EXISTING CONCRETE TO REMAIN.
4. EXISTING HYDRANT AND ASSOCIATED PIPING TO REMAIN.
5. EXISTING CURB AND GUTTER TO REMAIN.
6. EXISTING FENCE TO REMAIN.
7. EXISTING AREA LIGHT AND ASSOCIATED WIRING TO REMAIN.
8. EXISTING STREET LIGHT AND ASSOCIATED WIRING TO REMAIN.
9. EXISTING SIGN TO REMAIN.
10. EXISTING GROUND LIGHT AND ASSOCIATED WIRING TO REMAIN.
11. EXISTING FLAG POLE TO REMAIN.
12. EXISTING BASKETBALL HOOP TO REMAIN.
13. EXISTING BARRIER/FLUSH CURB TO REMAIN.
14. EXISTING LANDSCAPE TIMBER TO REMAIN.
15. EXISTING GAS LINE PER RECORD TO REMAIN.
16. EXISTING DETECTABLE WARNING PLATE TO REMAIN.
17. EXISTING CELL TOWER AND ASSOCIATED ITEMS TO REMAIN. SEE ELECTRICAL PLANS FOR DETAILS.
18. EXISTING BENCH TO REMAIN.
19. ABANDON EXISTING STORM SEWER IN PLACE. PROVIDE MIN. 2 FOOT NON-SHRINK CONCRETE MORTAR PLUG AT BOTH ENDS WHERE ALLOWED.
20. EXISTING METAL POST AND FOUNDATION TO BE REMOVED.
21. NEW FULL DEPTH SANKU OF EXISTING CURB/CONCRETE TO PROVIDE CLEAN CONSTRUCTION BREAK.
22. EXISTING CONCRETE SEATMALL TO REMAIN.
23. NEW FULL DEPTH SANKU OF EXISTING ASPHALT PAVEMENT TO PROVIDE CLEAN CONSTRUCTION BREAK.
24. NOT USED.
25. EXISTING ASPHALT PAVEMENT TO BE REMOVED FULL DEPTH TO MEET THE BOTTOM OF THE NEW PAVEMENT CROSS SECTIONS (NEW SUBGRADE ELEVATION). SEE THE SITE GRADING PLAN FOR NEW FINISHED ELEVATIONS AND DETAIL SHEETS FOR NEW PAVEMENT CROSS SECTIONS.
26. EXISTING CONCRETE TO BE REMOVED FULL DEPTH TO MEET THE BOTTOM OF THE NEW PAVEMENT CROSS SECTIONS (NEW SUBGRADE ELEVATION). SEE THE SITE GRADING PLAN FOR NEW FINISHED ELEVATIONS AND DETAIL SHEETS FOR NEW PAVEMENT CROSS SECTIONS.
27. EXISTING SHADE STRUCTURE AND ASSOCIATED ITEMS TO BE REMOVED BY CITY PRIOR TO DEMOLITION WORK.
28. EXISTING CONCRETE SEATMALL AND ASSOCIATED FOUNDATION TO BE REMOVED BY CITY PRIOR TO DEMOLITION WORK.
29. PROVIDE ROOT ZONE PROTECTION FENCE.
30. NEW 14 FOOT WIDE, 6" CA-1 AGGREGATE BASE. CONSTRUCTION ENTRANCE ON TOP OF EXISTING ASPHALT.
31. EXISTING MUSCO LIGHT AND POLE AND ASSOCIATED ITEMS TO BE REMOVED.
32. EXISTING BENCH TO BE REMOVED BY CITY PRIOR TO DEMOLITION WORK.
33. NOT USED.
34. EXISTING STORM SEWER TO BE REMOVED.
35. CONTRACTOR SHALL TRACE UTILITY PRIOR TO CONSTRUCTION. NOTIFY ENGINEER IMMEDIATELY IF CONFLICT EXISTS.
36. EXISTING TENNIS COURT LIGHT AND ASSOCIATED ITEMS TO REMAIN.
37. EXISTING FENCE, GATES AND POST FOUNDATIONS TO BE REMOVED.
38. EXISTING PANEL FENCE TO BE REMOVED AND SALVAGED TO CITY PRIOR TO DEMOLITION WORK.
39. EXISTING STORM STRUCTURE TO BE REMOVED.
40. EXISTING SHRUBS TO BE REMOVED.
41. EXISTING WOOD TIMBER TO BE REMOVED.
42. EXISTING BLEACHER TO BE REMOVED BY CITY PRIOR TO DEMOLITION WORK.
43. EXISTING STORM STRUCTURE FENCE AND GATE.
44. EXISTING STORM STRUCTURE AND ASSOCIATED PIPING TO REMAIN.
45. EXISTING STORM SEWER TO REMAIN.
46. EXISTING COMBINED STRUCTURE AND ASSOCIATED PIPING TO REMAIN.
47. EXISTING COMBINED SEWER TO REMAIN.
48. EXISTING SHADE STRUCTURE TO REMAIN.
49. EXISTING SANITARY STRUCTURE AND ASSOCIATED PIPING TO REMAIN.
50. EXISTING SANITARY SEWER TO REMAIN.
51. EXISTING UNDERGROUND ELECTRIC TO BE DISCONNECTED AND REMOVED.
52. EXISTING VALVE VAULT AND ASSOCIATED PIPING TO REMAIN.
53. EXISTING WATER MAIN TO REMAIN.
54. EXISTING GAS LINE TO REMAIN.
55. EXISTING ELECTRICAL BOX TO REMAIN.
56. EXISTING UNDERGROUND ELECTRIC LINE TO REMAIN.
57. EXISTING HANDHOLE AND ASSOCIATED ITEMS TO BE REMOVED.

### DEMOTES ACTION ITEMS

### DEMOLITION LEGEND

- |  |                                     |
|--|-------------------------------------|
|  | EXISTING STORM SEWER                |
|  | EXISTING SANITARY SEWER             |
|  | EXISTING COMBINATION SEWER          |
|  | EXISTING WATER MAIN                 |
|  | EXISTING WATER SERVICE              |
|  | EXISTING GAS LINE                   |
|  | EXISTING UNDERGROUND ELECTRIC LINE  |
|  | EXISTING UNDERGROUND TELCO LINE     |
|  | EXISTING OVERHEAD LINES             |
|  | EXISTING CLOSED MANHOLE             |
|  | EXISTING OPEN GRATE MANHOLE         |
|  | EXISTING BEEHIVE GRATE MANHOLE      |
|  | EXISTING CURB INLET                 |
|  | EXISTING FIRE HYDRANT               |
|  | EXISTING VALVE VAULT                |
|  | EXISTING STREET LIGHT               |
|  | EXISTING AREA LIGHT                 |
|  | EXISTING B-BOX                      |
|  | EXISTING GAS VALVE                  |
|  | ROOT ZONE PROTECTION FENCE          |
|  | SILT FENCE                          |
|  | FLEXSTORM CATCH-IT INLET PROTECTION |
|  | TEMPORARY CONCRETE WASHOUT FACILITY |
|  | SOIL BORING                         |

### ALTERNATES

- #1. TEMPORARY 10" CA-6 AGGREGATE BASE ROAD FOR ACCESS TO EXISTING CELL TOWER.
- #2. ITEMS WITHIN THIS DOUBLE-DOT DASHED AREA TO BE REMOVED ON FLEETWOOD-JORDAIN PROPERTY. VERIFY WITH THE OWNER AND CITY WHAT ITEMS TO BE SALVAGED.
- #3. EXISTING MUSCO LIGHTS TO BE DISCONNECTED AND SALVAGED. EXISTING POLE AND ASSOCIATED ITEMS TO BE REMOVED.

MATCHLINE  
(SEE SHEET C-1.1)

COPYRIGHT © ALL RIGHTS RESERVED



BID GROUP 1

JOB NUMBER 22-1026

DATE ISSUED FOR BID 6/7/2024

REVISIONS:

C-1.0

**C2200042**

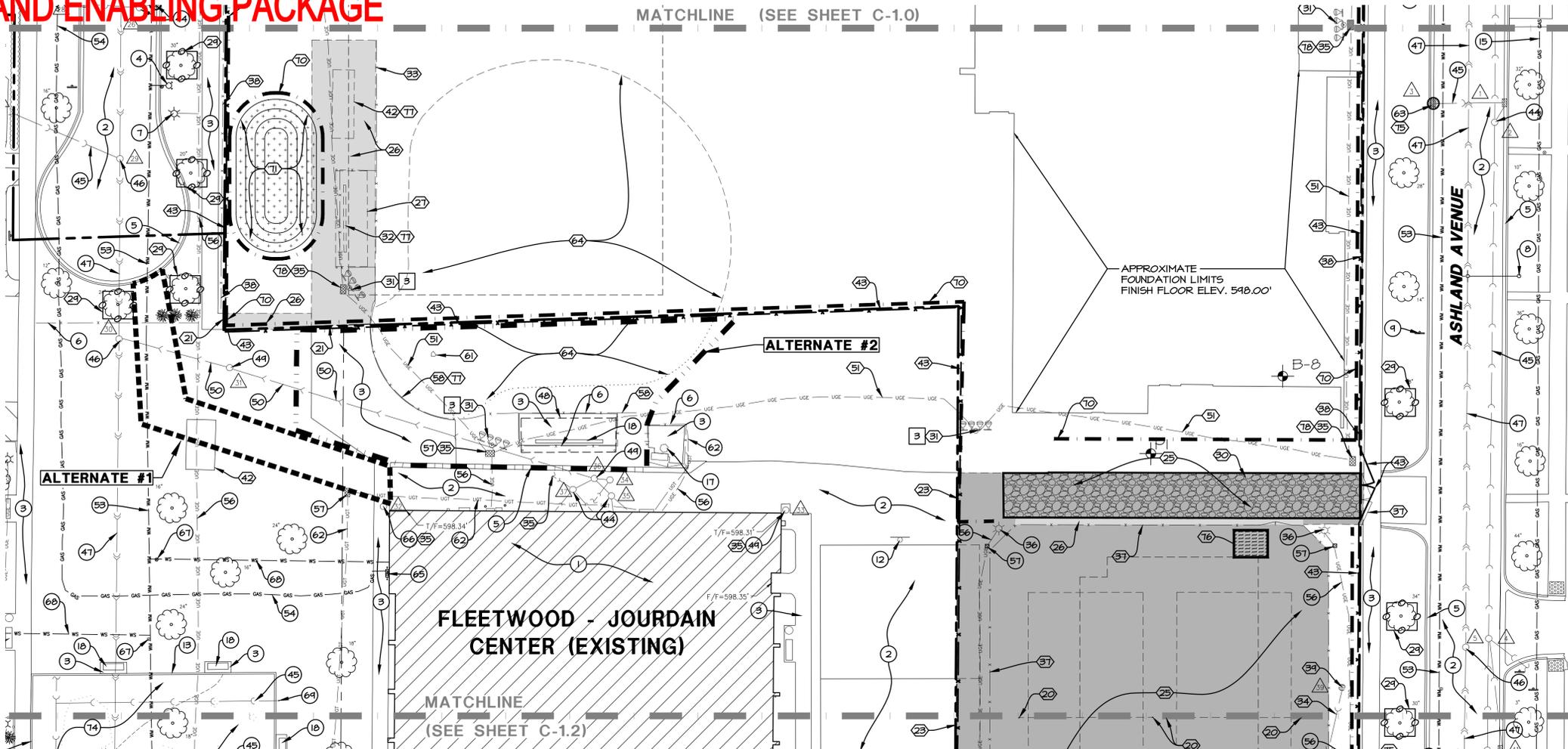
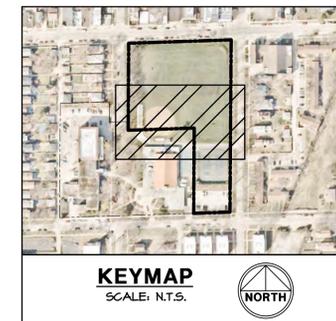
**WT Group**  
Engineering • Design • Consulting

**WT GROUP**  
Structural | Mechanical/Electrical/Plumbing  
Civil | Land Survey | Telecommunications/Aviation  
Accessibility Consulting | Design & Program Management  
Engineering with Precision, Pace & Passion.

2675 Prichard Avenue | Hoffman Estates, IL 60132  
P: 224.299.8233 | F: 224.299.8444  
www.wtgroup.com  
IL License No. 184.007785-0175 Exp. 04/30/2025  
©COPYRIGHT 2024 THE WT GROUP, LLC

# EXHIBIT C - SITE CLEARING AND ENABLING PACKAGE

MATCHLINE (SEE SHEET C-1.0)



### HATCH LEGEND

- ASPHALT PAVEMENT TO BE REMOVED FULL DEPTH
- CONCRETE TO BE REMOVED FULL DEPTH
- TEMPORARY STABILIZED CONSTRUCTION ENTRANCE
- SUGGESTED LOCATION OF THE TEMPORARY STOCKPILE AREA. GENERAL GRASS SEED MIX TO BE APPLIED TO TOPSOIL STOCK PILE IF TOPSOIL STOCK PILE IS DORMANT FOR MORE THAN 3 DAYS.

### SITE DEMOLITION NOTES:

- A. CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS.
- B. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND COORDINATE ALL DEMOLITION WITH THE MUNICIPALITY AND OWNERS REPRESENTATIVE TO ENSURE PROTECTION AND MAINTENANCE OF SANITARY AND WATER UTILITIES AS NECESSARY AND TO PROVIDE STORM WATER CONVEYANCE UNTIL NEW FACILITIES ARE CONSTRUCTED, TESTED, AND PLACED IN OPERATION.
- C. CONTRACTOR SHALL DEVELOP AND IMPLEMENT A DAILY PROGRAM OF DUST CONTROL PROCEDURES PRIOR TO DEMOLITION OF ANY STRUCTURES. MODIFICATION OF DUST CONTROL PROCEDURES SHALL BE PERFORMED BY THE CONTRACTOR TO THE SATISFACTION OF THE MUNICIPALITY AND COMPLY WITH THE NPDES II REQUIREMENTS OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY AND THE INDIVIDUAL STORM WATER POLLUTION PREVENTION PLAN FOR THIS PROJECT.
- D. ALL EXISTING TREES, BRUSH AND MISCELLANEOUS VEGETATION TO BE REMOVED OR DEMOLISHED SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF BY THE CONTRACTOR.
- E. VOIDS LEFT BY ANY ITEM REMOVED UNDER ANY PROPOSED BUILDING, PAVEMENT, OR WALK OR WITHIN 24" THEREOF SHALL BE BACKFILLED WITH ENGINEERED FILL ACCORDING TO THE GEOTECHNICAL REPORT.
- F. ALL EXISTING BUILDINGS, FOUNDATIONS, CONCRETE OR ASPHALT PAVEMENT OR WALKS, CURB AND GUTTER AND MISCELLANEOUS STRUCTURES (INCLUDING, BUT NOT LIMITED TO FENCES, POLES, YARD LIGHTS, ELECTRICAL PANELS, AND MISCELLANEOUS DEBRIS) INDICATED TO BE DEMOLISHED SHALL BE REMOVED OR DEMOLISHED AND REMOVED FROM THE SITE AND DISPOSED OF LEGALLY BY THE CONTRACTOR. CONTACT GAS COMPANY PRIOR TO DEMOLITION. LOCATION OF EXISTING GAS SERVICES ARE UNKNOWN.
- G. ALL EXISTING UTILITIES SHALL REMAIN UNLESS OTHERWISE NOTED.
- H. ALL EXISTING UTILITIES SHALL REMAIN UNLESS OTHERWISE NOTED.
- I. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
- J. CONTRACTOR SHALL PROVIDE REMOVAL AND REPLACEMENT AND SHORING AS NECESSARY TO MEET OSHA AND LOCAL CODE, AS WELL AS MANUFACTURER'S REQUIREMENTS.
- K. ALL FOUNDATIONS FOR ALL FENCES, SIGNS, ETC. NOTED FOR REMOVAL SHALL BE REMOVED AND LEGALLY DISPOSED OF OFFSITE.
- L. PROOF-ROLLING SHALL BE PERFORMED FOR ALL SUBGRADE PRIOR TO CONSTRUCTION OF NEW PAVEMENT. ALL SUBGRADE PROOF-ROLLING SHALL BE WITNESSED AND APPROVED BY A MATERIALS TESTING AGENCY TO BE HIRED BY THE OWNER. CONTRACTOR TO COORDINATE ALL PROOF-ROLLING WITH THE MATERIALS TESTING AGENCY. CONTACT THE ENGINEER AND MATERIAL TESTING AGENCY SO THAT THEY MAY WITNESS THE PROOF ROLL. PROOF ROLL SHALL BE PROVIDED FOR ALL PAVEMENT AREAS SPECIFIED FOR FULL DEPTH REMOVAL AND REPLACEMENT.
- M. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE BOUNDARY AND TOPOGRAPHIC SURVEY LAST DATED 3-6-23, PREPARED BY MT GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- N. SEE SHEETS SUR-1 TO SUR-4 "BOUNDARY AND TOPOGRAPHIC SURVEY" FOR ALL EXISTING LOCATED UTILITY DATA.
- O. CLEAR SITE AS NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS.
- P. ALL ITEMS MARK "EXISTING OR EXISTING TO REMAIN" TO BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION.
- Q. CONTRACTOR TO PROVIDE SOIL TESTING SERVICES FOR COMPLETION OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY'S LPC-662 AND/OR LPC-663 FORMS AS PART OF THEIR CONTRACT.
- R. ALL EXISTING UTILITIES TO BE ABANDONED IN PLACE SHALL BE CAPPED WITH 2' LONG (MIN) NON-SHRINK CONCRETE MORTAR PLUGS AT BOTH ENDS.

### EXISTING UTILITY DATA

- RIM=594.89' (STORM)  
48" CONCRETE STRUCTURE  
INV=591.07' (12" DIP SW)  
INV=590.07' (12" DIP SW)
- RIM=595.12' (STORM)  
48" CONCRETE STRUCTURE  
INV=581.67' (48" RCP N/S)  
INV=598.95' (12" DIP NE)
- RIM=594.85' (STORM)  
24" CONCRETE STRUCTURE  
INV=591.80' (10" DIP E)
- RIM=595.67' (STORM)  
48" CONCRETE STRUCTURE  
INV=581.82' (48" RCP N/S)  
INV=590.67' (8" PVC ESE)  
INV=590.42' (12" DIP SE)
- RIM=595.84' (COMBINATION)  
48" CONCRETE STRUCTURE  
INV=589.87' (12" PVC N/S)
- RIM=596.83' (COMBINATION)  
48" CONCRETE STRUCTURE  
INV=589.96' (12" PVC N/S)  
INV=591.69' (8" CLAY NNW)
- RIM=596.95' (COMBINATION)  
36" BRICK STRUCTURE  
INV=589.96' (12" PVC N/S)  
INV=590.17' (8" CLAY SE)
- RIM=596.70' (COMBINATION)  
36" BRICK STRUCTURE  
INV=589.74' (8" CLAY NW & SE)  
WATER IN TROUGH @ 590.07
- RIM=598.25' (UNKNOWN)  
18" CONCRETE STRUCTURE  
NO LINES FOUND  
592.85' AT BOTTOM OF STRUCTURE
- RIM=598.17' (STORM)  
18" CONCRETE STRUCTURE  
INV=593.83' (2" DIP SW)  
593.13' AT BOTTOM OF STRUCTURE
- RIM=596.99' (STORM)  
36" CONCRETE STRUCTURE  
INV=592.96' (8" PVC SW)  
593.67' AT TOP SNORKEL 8" PVC W
- RIM=597.17' (COMBINATION)  
36" CONCRETE STRUCTURE  
INV=592.67' (6" CLAY SE/S)  
INV=592.60' (6" CLAY NW)
- RIM=597.02' (COMBINATION)  
36" CONCRETE STRUCTURE  
INV=592.93' (8" PVC E)  
INV=592.13' (8" CLAY SE/NW)  
INV=592.29' (6" CLAY SW)
- RIM=597.19' (STORM)  
36" BLOCK STRUCTURE  
INV=592.82' (6" CLAY ENE)  
INV=592.56' (4" CLAY SE)  
INV=594.62' (2" DIP SW)  
INV=593.34' (6" CLAY NW)
- RIM=596.57' (STORM)  
48" CONCRETE STRUCTURE  
INV=591.91' (4" CLAY ESE)  
CHANGES AT SOME POINT TO A 8" CLAY SE

### GENERAL PROJECT NOTES:

1. EXISTING BUILDING TO REMAIN.
2. EXISTING ASPHALT PAVEMENT TO REMAIN.
3. EXISTING CONCRETE TO REMAIN.
4. EXISTING HYDRANT AND ASSOCIATED PIPING TO REMAIN.
5. EXISTING CURB AND GUTTER TO REMAIN.
6. EXISTING FENCE TO REMAIN.
7. EXISTING AREA LIGHT AND ASSOCIATED WIRING TO REMAIN.
8. EXISTING STREET LIGHT AND ASSOCIATED WIRING TO REMAIN.
9. EXISTING SIGN TO REMAIN.
10. EXISTING GROUND LIGHT AND ASSOCIATED WIRING TO REMAIN.
11. EXISTING FLAG POLE TO REMAIN.
12. EXISTING BASKETBALL HOOP TO REMAIN.
13. EXISTING BARRIER/FLASH CURB TO REMAIN.
14. EXISTING LANDSCAPE TIMBER TO REMAIN.
15. EXISTING GAS LINE PER RECORD TO REMAIN.
16. EXISTING DETECTABLE WARNING PLATE TO REMAIN.
17. EXISTING CELL TOWER AND ASSOCIATED ITEMS TO REMAIN. SEE ELECTRICAL PLANS FOR DETAILS.
18. EXISTING BENCH TO REMAIN.
19. ABANDON EXISTING STORM SEWER IN PLACE. PROVIDE MIN. 2 FOOT NON-SHRINK CONCRETE MORTAR PLUG AT BOTH ENDS WHERE ALLOWED.
20. EXISTING METAL POST AND FOUNDATION TO BE REMOVED.
21. NEW FULL DEPTH SAWCUT OF EXISTING CURB/CONCRETE TO PROVIDE CLEAN CONSTRUCTION BREAK.
22. EXISTING CONCRETE SEATWALL TO REMAIN.
23. NEW FULL DEPTH SAWCUT OF EXISTING ASPHALT PAVEMENT TO PROVIDE CLEAN CONSTRUCTION BREAK.
24. NOT USED.
25. EXISTING ASPHALT PAVEMENT TO BE REMOVED FULL DEPTH TO MEET THE BOTTOM OF THE NEW PAVEMENT CROSS SECTIONS (NEW SUBGRADE ELEVATION). SEE THE SITE GRADING PLAN FOR NEW FINISHED ELEVATIONS AND DETAIL SHEETS FOR NEW PAVEMENT CROSS SECTIONS.
26. EXISTING CONCRETE TO BE REMOVED FULL DEPTH TO MEET THE BOTTOM OF THE NEW PAVEMENT CROSS SECTIONS (NEW SUBGRADE ELEVATION). SEE THE SITE GRADING PLAN FOR NEW FINISHED ELEVATIONS AND DETAIL SHEETS FOR NEW PAVEMENT CROSS SECTIONS.
27. EXISTING SHADE STRUCTURE AND ASSOCIATED ITEMS TO BE REMOVED BY CITY PRIOR TO DEMOLITION WORK.
28. EXISTING CONCRETE SEATWALL AND ASSOCIATED FOUNDATION TO BE REMOVED BY CITY PRIOR TO DEMOLITION WORK.
29. PROVIDE ROOT ZONE PROTECTION FENCE.
30. NEW 14 FOOT WIDE, 6" CA-1 AGGREGATE BASE. CONSTRUCTION ENTRANCE ON TOP OF EXISTING ASPHALT.
31. EXISTING MUSCO LIGHT AND POLE AND ASSOCIATED ITEMS TO BE REMOVED.
32. EXISTING BENCH TO BE REMOVED BY CITY PRIOR TO DEMOLITION WORK.
33. NOT USED.
34. EXISTING STORM SEWER TO BE REMOVED. CONTRACTOR SHALL TRACE UTILITY PRIOR TO CONSTRUCTION. NOTIFY ENGINEER IMMEDIATELY IF CONFLICT EXISTS.
36. EXISTING TENNIS COURT LIGHT AND ASSOCIATED ITEMS TO REMAIN.
37. EXISTING FENCE, GATES AND POST FOUNDATIONS TO BE REMOVED.
38. EXISTING PANEL FENCE TO BE REMOVED AND SALVAGED TO CITY PRIOR TO DEMOLITION WORK.
39. EXISTING STORM STRUCTURE TO BE REMOVED.
40. EXISTING SHRUB TO BE REMOVED.
41. EXISTING WOOD TIMBER TO BE REMOVED.
42. EXISTING BLEACHER TO BE REMOVED BY CITY PRIOR TO DEMOLITION WORK.
43. TEMPORARY CONSTRUCTION FENCE AND GATE.
44. EXISTING STORM STRUCTURE AND ASSOCIATED PIPING TO REMAIN.
45. EXISTING STORM SEWER TO REMAIN.
46. EXISTING COMBINED STRUCTURE AND ASSOCIATED PIPING TO REMAIN.
47. EXISTING COMBINED SEWER TO REMAIN.
48. EXISTING GAS STRUCTURE TO REMAIN.
49. EXISTING SANITARY STRUCTURE AND ASSOCIATED PIPING TO REMAIN.
50. EXISTING SANITARY SEWER TO REMAIN.
51. EXISTING UNDERGROUND ELECTRIC TO BE DISCONNECTED AND REMOVED.
52. EXISTING VALVE VAULT AND ASSOCIATED PIPING TO REMAIN.
53. EXISTING WATER MAIN TO REMAIN.
54. EXISTING GAS LINE TO REMAIN.
55. EXISTING ELECTRICAL BOX TO REMAIN.
56. EXISTING UNDERGROUND ELECTRIC LINE TO REMAIN.
57. EXISTING HANDHOLE AND ASSOCIATED ITEMS TO REMAIN.

### DEMOTES ACTION ITEMS

- EXISTING BACKSTOP FENCE TO BE REMOVED AND SALVAGED TO CITY PRIOR TO DEMOLITION WORK. FENCE POST FOUNDATIONS TO BE REMOVED AND PROPERLY DISPOSED OF.
- EXISTING PLANTERS AND ASSOCIATED ITEMS TO BE REMOVED BY CITY PRIOR TO DEMOLITION WORK.
- EXISTING WOOD CHIPS TO REMAIN.
- EXISTING HOME PLATE TO BE REMOVED.
- EXISTING UNDERGROUND TELCO LINE TO REMAIN.
- EXISTING STORM STRUCTURE TO REMAIN.
- EXISTING DIRT IN FIELD TO BE REMOVED FULL DEPTH.
- EXISTING GAS METER AND ASSOCIATED PIPING TO REMAIN.
- EXISTING UNKNOWN STRUCTURE TO REMAIN.
- EXISTING B-BOX AND ASSOCIATED PIPING TO REMAIN.
- EXISTING WATER SERVICE TO REMAIN.
- EXISTING CLEAN OUT AND ASSOCIATED PIPING TO REMAIN.
- NEW SILT FENCE TO BE INSTALLED.
- NEW SUGGESTED TEMPORARY TOPSOIL STOCKPILE AREA. PROVIDE STABILIZATION MEASURES.
- EXISTING METAL POST TO REMAIN.
- EXISTING BRICK COLUMN TO REMAIN.
- EXISTING RUBBER MAT TO REMAIN.
- NEW INLET PROTECTION.
- TEMPORARY CONCRETE WASHOUT FACILITY.
- EXISTING POST AND ASSOCIATED FOUNDATIONS TO BE REMOVED AND PROPERLY DISPOSED OF.
- EXISTING HANDHOLE AND ASSOCIATED ITEMS TO BE REMOVED.

### DEMOLITION LEGEND

- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING COMBINATION SEWER
- EXISTING WATER MAIN
- EXISTING WATER SERVICE
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING UNDERGROUND TELCO LINE
- EXISTING OVERHEAD LINES
- EXISTING CLOSED MANHOLE
- EXISTING OPEN GRATE MANHOLE
- EXISTING BEEHIVE GRATE MANHOLE
- EXISTING CURB INLET
- EXISTING FIRE HYDRANT
- EXISTING VALVE VAULT
- EXISTING STREET LIGHT
- EXISTING AREA LIGHT
- EXISTING B-BOX
- EXISTING GAS VALVE
- ROOT ZONE PROTECTION FENCE
- SILT FENCE
- FLEXSTORM CATCH-IT INLET PROTECTION
- TEMPORARY CONCRETE WASHOUT FACILITY
- SOIL BORING

### ALTERNATES

- #1. TEMPORARY 10' CA-6 AGGREGATE BASE ROAD FOR ACCESS TO EXISTING CELL TOWER.
- #2. ITEMS WITHIN THIS DOUBLE-DOT DASHED AREA TO BE REMOVED ON FLEETWOOD-JOURDAIN PROPERTY. VERIFY WITH THE OWNER AND CITY WHAT ITEMS TO BE SALVAGED.
- #3. EXISTING MUSCO LIGHTS TO BE DISCONNECTED AND SALVAGED. EXISTING POLE AND ASSOCIATED ITEMS TO BE REMOVED.

ALL RIGHTS RESERVED



REVISIONS:

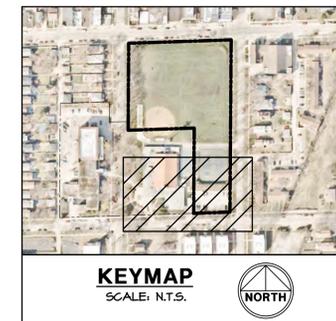
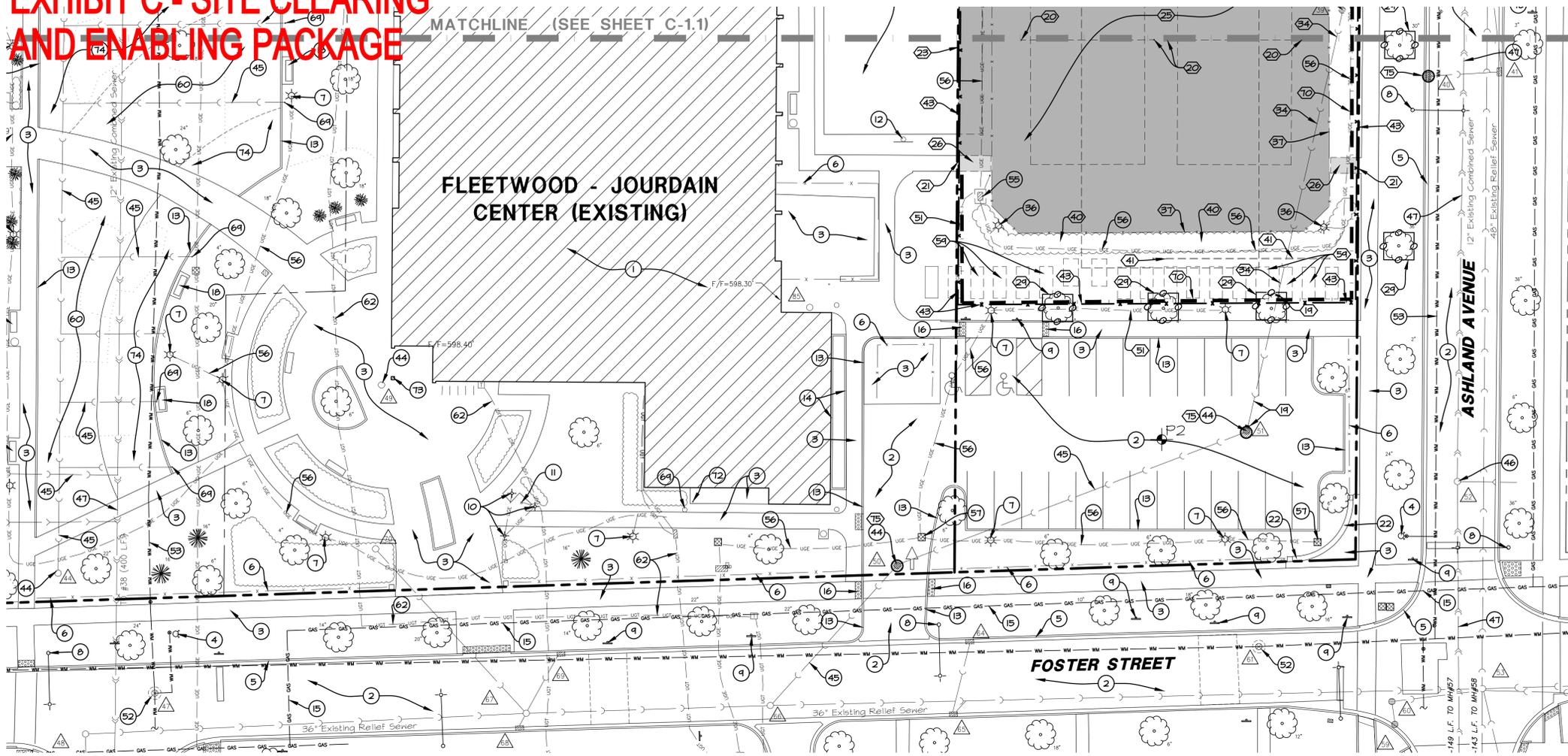
**C2200042**

**WT GROUP**  
Structural | Mechanical | Electrical | Plumbing  
Civil | Land Survey | Telecommunications | Acoustic  
Accessibility Consulting | Design & Program Management  
Engineering with Precision, Pace & Passion.

2675 Prichard Avenue | Hoffman Estates, IL 60192  
P: 224.293.8330 | F: 224.293.8444  
info@wtgroup.com

IL License No. 184 007767010 | Exp. 04/30/2025  
©2024 WT GROUP, LLC

# EXHIBIT C - SITE CLEARING AND ENABLING PACKAGE



- ### HATCH LEGEND
- ASPHALT PAVEMENT TO BE REMOVED FULL DEPTH
  - CONCRETE TO BE REMOVED FULL DEPTH
  - TEMPORARY STABILIZED CONSTRUCTION ENTRANCE
  - SUGGESTED LOCATION OF THE TEMPORARY STOCKPILE AREA. GENERAL GRASS SEED MIX TO BE APPLIED TO TOPSOIL STOCK PILE IF TOPSOIL STOCK PILE IS DORMANT FOR MORE THAN 3 DAYS.

- ### SITE DEMOLITION NOTES:
- A. CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS.
  - B. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND COORDINATE ALL DEMOLITION WITH THE MUNICIPALITY AND OWNERS REPRESENTATIVE TO ENSURE PROTECTION AND MAINTENANCE OF SANITARY AND WATER UTILITIES AS NECESSARY AND TO PROVIDE STORM WATER CONVEYANCE UNTIL NEW FACILITIES ARE CONSTRUCTED, TESTED, AND PLACED IN OPERATION.
  - C. CONTRACTOR SHALL DEVELOP AND IMPLEMENT A DAILY PROGRAM OF DUST CONTROL PROCEDURES PRIOR TO DEMOLITION OF ANY STRUCTURES. MODIFICATION OF DUST CONTROL PROCEDURES SHALL BE PERFORMED BY THE CONTRACTOR TO THE SATISFACTION OF THE MUNICIPALITY AND COMPLY WITH THE IPDES II REQUIREMENTS OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY AND THE INDIVIDUAL STORM WATER POLLUTION PREVENTION PLAN FOR THIS PROJECT.
  - D. ALL EXISTING TREES, BRUSH AND MISCELLANEOUS VEGETATION TO BE REMOVED OR DEMOLISHED SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF BY THE CONTRACTOR.
  - E. VOIDS LEFT BY ANY ITEM REMOVED UNDER ANY PROPOSED BUILDING, PAVEMENT, OR WALK OR WITHIN 24" THEREOF SHALL BE BACKFILLED WITH ENGINEERED FILL ACCORDING TO THE GEOTECHNICAL REPORT.
  - F. ALL EXISTING BUILDINGS, FOUNDATIONS, CONCRETE OR ASPHALT PAVEMENT OR WALKS, CURB AND GUTTER AND MISCELLANEOUS STRUCTURES (INCLUDING, BUT NOT LIMITED TO FENCES, POLES, YARD LIGHTS, ELECTRICAL PANELS, AND MISCELLANEOUS DEBRIS) INDICATED TO BE DEMOLISHED SHALL BE REMOVED OR DEMOLISHED AND REMOVED FROM THE SITE AND DISPOSED OF LEGALLY BY THE CONTRACTOR.
  - G. CONTACT GAS COMPANY PRIOR TO DEMOLITION. LOCATION OF EXISTING GAS SERVICES ARE UNKNOWN.
  - H. ALL EXISTING TREES SHALL REMAIN UNLESS OTHERWISE NOTED.
  - I. ALL EXISTING UTILITIES SHALL REMAIN UNLESS OTHERWISE NOTED.
  - J. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
  - K. CONTRACTOR SHALL PROVIDE REMOVAL AND REPLACEMENT AND SHORING AS NECESSARY TO MEET OSHA AND LOCAL CODE, AS WELL AS MANUFACTURER'S REQUIREMENTS.
  - L. ALL FOUNDATIONS FOR ALL FENCES, SIGNS, ETC. NOTED FOR REMOVAL SHALL BE REMOVED AND LEGALLY DISPOSED OF OFFSITE.
  - M. PROOF-ROLLING SHALL BE PERFORMED FOR ALL SUBGRADE PRIOR TO CONSTRUCTION OF NEW PAVEMENT. ALL SUBGRADE PROOF-ROLLING SHALL BE WITNESSED AND APPROVED BY A MATERIALS TESTING AGENCY TO BE HIRED BY THE OWNER. CONTRACTOR TO COORDINATE ALL PROOF-ROLLING WITH THE MATERIALS TESTING AGENCY. CONTACT THE ENGINEER AND MATERIAL TESTING AGENCY SO THAT THEY MAY WITNESS THE PROOF ROLL. PROOF ROLL SHALL BE PROVIDED FOR ALL PAVEMENT AREAS SPECIFIED FOR FULL DEPTH REMOVAL AND REPLACEMENT.
  - N. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE BOUNDARY AND TOPOGRAPHIC SURVEY LAST DATED 3-6-23, PREPARED BY WIT GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
  - O. SEE SHEETS SUR-1 TO SUR-4 "BOUNDARY AND TOPOGRAPHIC SURVEY" FOR ALL EXISTING LOCATED UTILITY DATA.
  - P. CLEAR SITE AS NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS.
  - Q. ALL ITEMS MARK "EXISTING OR EXISTING TO REMAIN" TO BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION.
  - R. CONTRACTOR TO PROVIDE SOIL TESTING SERVICES FOR COMPLETION OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY'S LPC-662 AND/OR LPC-663 FORMS AS PART OF THEIR CONTRACT.
  - S. ALL EXISTING UTILITIES TO BE ABANDONED IN PLACE SHALL BE CAPPED WITH 2' LONG (MIN) NON-SHRINK CONCRETE MORTAR PLUGS AT BOTH ENDS.

### EXISTING UTILITY DATA

- 1. 12" DIA. CONCRETE STRUCTURE
- 2. 12" DIA. CONCRETE STRUCTURE
- 3. 12" DIA. CONCRETE STRUCTURE
- 4. 12" DIA. CONCRETE STRUCTURE
- 5. 12" DIA. CONCRETE STRUCTURE
- 6. 12" DIA. CONCRETE STRUCTURE
- 7. 12" DIA. CONCRETE STRUCTURE
- 8. 12" DIA. CONCRETE STRUCTURE
- 9. 12" DIA. CONCRETE STRUCTURE
- 10. 12" DIA. CONCRETE STRUCTURE
- 11. 12" DIA. CONCRETE STRUCTURE
- 12. 12" DIA. CONCRETE STRUCTURE
- 13. 12" DIA. CONCRETE STRUCTURE
- 14. 12" DIA. CONCRETE STRUCTURE
- 15. 12" DIA. CONCRETE STRUCTURE
- 16. 12" DIA. CONCRETE STRUCTURE
- 17. 12" DIA. CONCRETE STRUCTURE
- 18. 12" DIA. CONCRETE STRUCTURE
- 19. 12" DIA. CONCRETE STRUCTURE
- 20. 12" DIA. CONCRETE STRUCTURE
- 21. 12" DIA. CONCRETE STRUCTURE
- 22. 12" DIA. CONCRETE STRUCTURE
- 23. 12" DIA. CONCRETE STRUCTURE
- 24. 12" DIA. CONCRETE STRUCTURE
- 25. 12" DIA. CONCRETE STRUCTURE
- 26. 12" DIA. CONCRETE STRUCTURE
- 27. 12" DIA. CONCRETE STRUCTURE
- 28. 12" DIA. CONCRETE STRUCTURE
- 29. 12" DIA. CONCRETE STRUCTURE
- 30. 12" DIA. CONCRETE STRUCTURE
- 31. 12" DIA. CONCRETE STRUCTURE
- 32. 12" DIA. CONCRETE STRUCTURE
- 33. 12" DIA. CONCRETE STRUCTURE
- 34. 12" DIA. CONCRETE STRUCTURE
- 35. 12" DIA. CONCRETE STRUCTURE
- 36. 12" DIA. CONCRETE STRUCTURE
- 37. 12" DIA. CONCRETE STRUCTURE
- 38. 12" DIA. CONCRETE STRUCTURE
- 39. 12" DIA. CONCRETE STRUCTURE
- 40. 12" DIA. CONCRETE STRUCTURE
- 41. 12" DIA. CONCRETE STRUCTURE
- 42. 12" DIA. CONCRETE STRUCTURE
- 43. 12" DIA. CONCRETE STRUCTURE
- 44. 12" DIA. CONCRETE STRUCTURE
- 45. 12" DIA. CONCRETE STRUCTURE
- 46. 12" DIA. CONCRETE STRUCTURE
- 47. 12" DIA. CONCRETE STRUCTURE
- 48. 12" DIA. CONCRETE STRUCTURE
- 49. 12" DIA. CONCRETE STRUCTURE
- 50. 12" DIA. CONCRETE STRUCTURE
- 51. 12" DIA. CONCRETE STRUCTURE
- 52. 12" DIA. CONCRETE STRUCTURE
- 53. 12" DIA. CONCRETE STRUCTURE
- 54. 12" DIA. CONCRETE STRUCTURE
- 55. 12" DIA. CONCRETE STRUCTURE
- 56. 12" DIA. CONCRETE STRUCTURE
- 57. 12" DIA. CONCRETE STRUCTURE
- 58. 12" DIA. CONCRETE STRUCTURE
- 59. 12" DIA. CONCRETE STRUCTURE
- 60. 12" DIA. CONCRETE STRUCTURE
- 61. 12" DIA. CONCRETE STRUCTURE
- 62. 12" DIA. CONCRETE STRUCTURE
- 63. 12" DIA. CONCRETE STRUCTURE
- 64. 12" DIA. CONCRETE STRUCTURE
- 65. 12" DIA. CONCRETE STRUCTURE
- 66. 12" DIA. CONCRETE STRUCTURE
- 67. 12" DIA. CONCRETE STRUCTURE
- 68. 12" DIA. CONCRETE STRUCTURE
- 69. 12" DIA. CONCRETE STRUCTURE
- 70. 12" DIA. CONCRETE STRUCTURE
- 71. 12" DIA. CONCRETE STRUCTURE
- 72. 12" DIA. CONCRETE STRUCTURE
- 73. 12" DIA. CONCRETE STRUCTURE
- 74. 12" DIA. CONCRETE STRUCTURE
- 75. 12" DIA. CONCRETE STRUCTURE
- 76. 12" DIA. CONCRETE STRUCTURE
- 77. 12" DIA. CONCRETE STRUCTURE
- 78. 12" DIA. CONCRETE STRUCTURE
- 79. 12" DIA. CONCRETE STRUCTURE
- 80. 12" DIA. CONCRETE STRUCTURE

### GENERAL PROJECT NOTES:

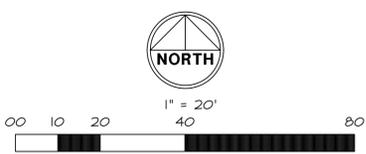
1. EXISTING BUILDING TO REMAIN.
2. EXISTING ASPHALT PAVEMENT TO REMAIN.
3. EXISTING CONCRETE TO REMAIN.
4. EXISTING HYDRANT AND ASSOCIATED PIPING TO REMAIN.
5. EXISTING CURB AND GUTTER TO REMAIN.
6. EXISTING FENCE TO REMAIN.
7. EXISTING AREA LIGHT AND ASSOCIATED WIRING TO REMAIN.
8. EXISTING STREET LIGHT AND ASSOCIATED WIRING TO REMAIN.
9. EXISTING SIGN TO REMAIN.
10. EXISTING GROUND LIGHT AND ASSOCIATED WIRING TO REMAIN.
11. EXISTING FLAG POLE TO REMAIN.
12. EXISTING BASKETBALL HOOP TO REMAIN.
13. EXISTING BARRIER/FLUSH CURB TO REMAIN.
14. EXISTING LANDSCAPE TIMBER TO REMAIN.
15. EXISTING GAS LINE PER RECORD TO REMAIN.
16. EXISTING DETECTABLE WARNING PLATE TO REMAIN.
17. EXISTING CELL TOWER AND ASSOCIATED ITEMS TO REMAIN. SEE ELECTRICAL PLANS FOR DETAILS.
18. EXISTING BENCH TO REMAIN.
19. ABANDON EXISTING STORM SEWER IN PLACE. PROVIDE MIN. 2 FOOT NON-SHRINK CONCRETE MORTAR PLUG AT BOTH ENDS WHERE ALLOWED.
20. EXISTING METAL POST AND FOUNDATION TO BE REMOVED.
21. NEW FULL DEPTH SAWCUT OF EXISTING CURB/CONCRETE TO PROVIDE CLEAN CONSTRUCTION BREA.
22. EXISTING CONCRETE SEATWALL TO REMAIN.
23. NEW FULL DEPTH SAWCUT OF EXISTING ASPHALT PAVEMENT TO PROVIDE CLEAN CONSTRUCTION BREAK.
24. NOT USED.
25. EXISTING ASPHALT PAVEMENT TO BE REMOVED FULL DEPTH TO MEET THE BOTTOM OF THE NEW PAVEMENT CROSS SECTIONS (NEW SUBGRADE ELEVATION). SEE THE SITE GRADING PLAN FOR NEW FINISHED ELEVATIONS AND DETAIL SHEETS FOR NEW PAVEMENT CROSS SECTIONS.
26. EXISTING CONCRETE TO BE REMOVED FULL DEPTH TO MEET THE BOTTOM OF THE NEW PAVEMENT CROSS SECTIONS (NEW SUBGRADE ELEVATION). SEE THE SITE GRADING PLAN FOR NEW FINISHED ELEVATIONS AND DETAIL SHEETS FOR NEW PAVEMENT CROSS SECTIONS.
27. EXISTING SHADE STRUCTURE AND ASSOCIATED ITEMS TO BE REMOVED BY CITY PRIOR TO DEMOLITION WORK.

### DEMOLITION LEGEND

- 1. EXISTING STORM SEWER
- 2. EXISTING SANITARY SEWER
- 3. EXISTING COMBINATION SEWER
- 4. EXISTING WATER MAIN
- 5. EXISTING WATER SERVICE
- 6. EXISTING GAS LINE
- 7. EXISTING UNDERGROUND ELECTRIC LINE
- 8. EXISTING UNDERGROUND TELCO LINE
- 9. EXISTING OVERHEAD LINES
- 10. EXISTING CLOSED MANHOLE
- 11. EXISTING OPEN GRATE MANHOLE
- 12. EXISTING BEEHIVE GRATE MANHOLE
- 13. EXISTING CURB INLET
- 14. EXISTING FIRE HYDRANT
- 15. EXISTING VALVE VAULT
- 16. EXISTING STREET LIGHT
- 17. EXISTING AREA LIGHT
- 18. EXISTING B-BOX
- 19. EXISTING GAS VALVE
- 20. ROOT ZONE PROTECTION FENCE
- 21. SILT FENCE
- 22. FLEXSTORM CATCH-IT INLET PROTECTION
- 23. TEMPORARY CONCRETE WASHOUT FACILITY
- 24. SOIL BORING

### ALTERNATES

1. TEMPORARY 10' CA-6 AGGREGATE BASE ROAD FOR ACCESS TO EXISTING CELL TOWER.
2. ITEMS WITHIN THIS DOUBLE-DOT DASHED AREA TO BE REMOVED ON FLEETWOOD-JOURDAIN PROPERTY. VERIFY WITH THE OWNER AND CITY WHAT ITEMS TO BE SALVAGED.
3. EXISTING MUSCO LIGHTS TO BE DISCONNECTED AND SALVAGED. EXISTING POLE AND ASSOCIATED ITEMS TO BE REMOVED.



**C2200042**

**WT GROUP**  
Structural | Mechanical | Electrical | Plumbing  
Civil | Land Survey | Telecommunications | Aquatics  
Accessibility Consulting | Design & Program Management  
Engineering with Precision. PACE & PASSION.

2675 Prichard Avenue | Hoffman Estates, IL 60192  
P: 224.238.8333 | F: 224.293.8444  
info@wtgroup.com

IL License No. 184.007750-0015 | Exp. 04.30.2025  
©COPYRIGHT 2023 THE WT GROUP, LLC

**CORDOGAN CLARK**  
ARCHITECTURE • ENGINEERING • CONSTRUCTION

**Evanston / Skokie**  
School District 65  
Every Child. Every Day. Unlimited Possibilities.

**SCHOOL DISTRICT 65 -**  
**NEW FOSTER SCHOOL**  
1600 SIMPSON ST. EVANSTON, IL 60021

**SITE DEMOLITION PLAN**

**BID GROUP 1**

JOB NUMBER: 22-1026

DATE ISSUED FOR BID: 6/7/2024

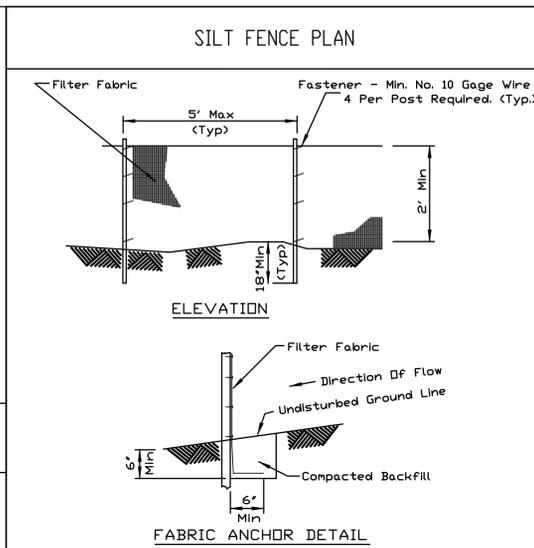
REVISIONS:

**C-1.2**

# EXHIBIT C - SITE CLEARING AND ENABLING PACKAGE

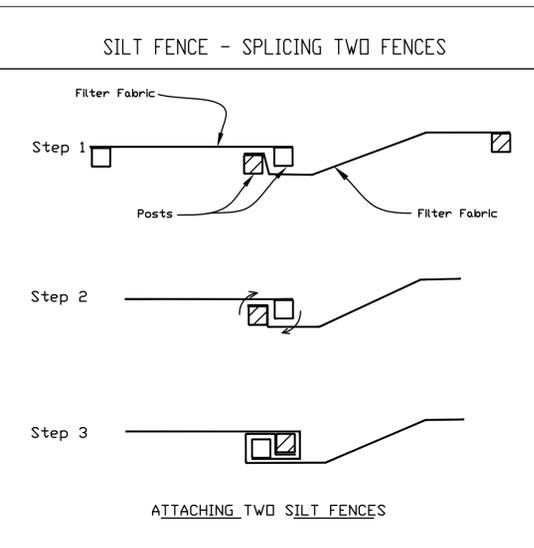


**DETAIL - ROOT ZONE PROTECTION FENCE**  
NOT TO SCALE



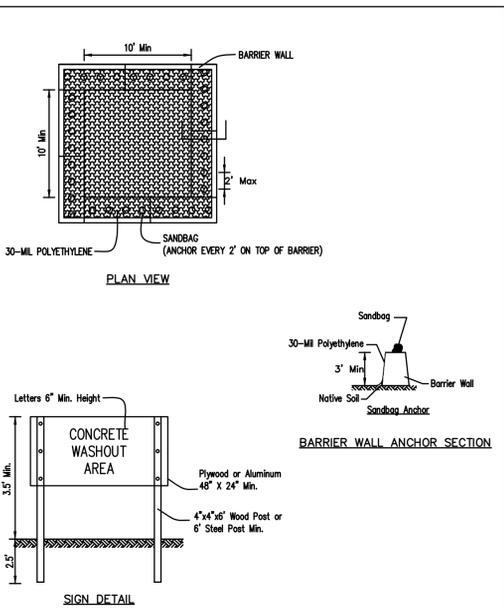
- NOTES:**
1. Temporary sediment fence shall be installed prior to any grading work in the area to be protected. They shall be maintained throughout the construction period and removed in conjunction with the final grading and site stabilization.
  2. Filter fabric shall meet the requirements of material specification 592 Geotextile Table 1 or 2, Class I with equivalent opening size of at least 30 for nonwoven and 40 for woven.
  3. Fence posts shall be either standard steel post or wood post with a minimum cross-sectional area of 3.0 sq. in.

REFERENCE Project	DATE	DESIGNED Date	DATE	CHECKED Date	DATE	APPROVED Date	DATE
STANDARD DWG. NO. IUM-620A SHEET 1 OF 2 DATE 3-16-12							



1. Place the end post of the second fence inside the end post of the first fence.
2. Rotate both posts at least 180 degrees in a clockwise direction to create a tight seal with the fabric material.
3. Cut the fabric near the bottom of the stakes to accommodate the 6' flap.
4. Drive both posts a minimum of 18 inches into the ground and bury the flap.
5. Compact backfill (particularly at splices) completely to prevent stormwater piping.

REFERENCE Project	DATE	DESIGNED Date	DATE	CHECKED Date	DATE	APPROVED Date	DATE
STANDARD DWG. NO. IUM-620B(W) SHEET 1 OF 1 DATE 2-06-2012							



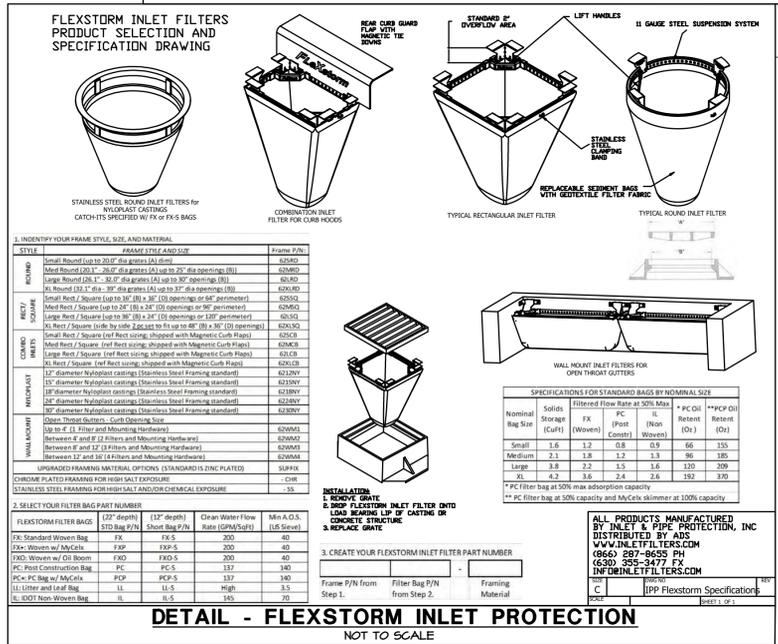
- NOTES:**
1. Maintaining temporary concrete washout facilities shall include removing and disposing of hardened concrete and/or slurry and returning the facilities to a functional condition.
  2. Facility shall be cleaned or reconstructed in a new area once washout becomes two-thirds full.

REFERENCE Project	DATE	DESIGNED Date	DATE	CHECKED Date	DATE	APPROVED Date	DATE
TEMPORARY CONCRETE WASHOUT FACILITY - BARRIER WALL STANDARD DWG. NO. IUM-620C(W) SHEET 1 OF 1 DATE 2-06-2012							

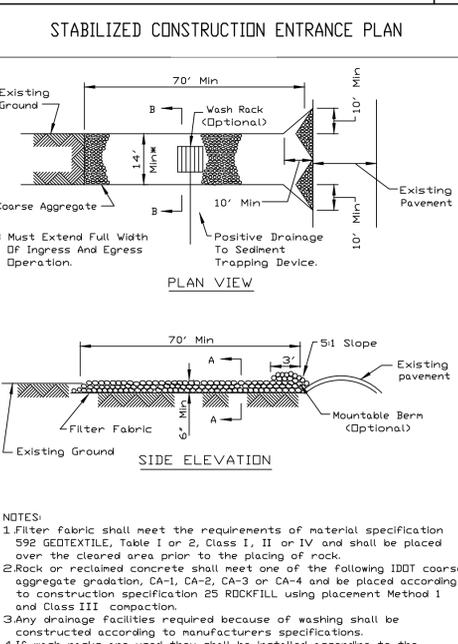
- SWPPP NOTES:**
- A. ALL DISTURBED GREEN SPACES ON THE SITE SHALL BE RESTORED ACCORDING TO THE SEED BED PREPARATION SPECIFICATIONS BELOW AND BLANKETED OR MATTED AS SHOWN ON THE PLANS.
  - B. TEMPORARY OR PERMANENT STABILIZATION SHALL OCCUR IMMEDIATELY WHENEVER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE. TEMPORARY STABILIZATION SHALL CONSIST OF THE INSTALLATION OF TEMPORARY SEEDING.
  - C. CONTRACTOR TO INSTALL TEMPORARY CONSTRUCTION ENTRANCES AS NECESSARY TO EXCAVATE AREAS AND HAIL SOILS ON-SITE. TRACKING OF DEBRIS ON SITE WILL NOT BE TOLERATED. ANY DEBRIS LEFT OUTSIDE OF THE PROJECT LIMITS MUST BE CLEANED IMMEDIATELY.
  - D. EROSION CONTROL BLANKETS AND TURF REINFORCEMENT MATS SHALL BE INSTALLED USING 6\"/>

## SOIL EROSION AND SEDIMENT CONTROL CONSTRUCTION SCHEDULE

1. OBTAIN NPDES AND OTHER APPLICABLE SITE PERMITS AND REVIEW PROJECT'S STORMWATER POLLUTION PREVENTION PLAN (SWPPP). CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND UPDATING THE SWPPP THROUGHOUT THE DURATION OF CONSTRUCTION AS NECESSARY UNTIL FINAL SITE STABILIZATION IS ACHIEVED.
2. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
3. INSTALL PERIMETER SEDIMENT CONTROL MEASURES (E.G. SILT FENCE).
4. INSTALL PROTECTION DEVICES FOR EXISTING DRAINAGE INLET AND OUTLET STRUCTURES, IF APPLICABLE.
5. PERFORM STORMWATER POLLUTION PREVENTION SITE INSPECTIONS ON A WEEKLY BASIS AND WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A RAINFALL EVENT THAT IS 0.5 INCH OR GREATER (OR EQUIVALENT SNOWFALL). AT A MINIMUM, THE INSPECTIONS SHALL INCLUDE THE DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED. ALL STRUCTURAL CONTROL MEASURES LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE, AND ANY ADDITIONAL BEST MANAGEMENT PRACTICES IDENTIFIED IN THE SWPPP.
- 5.1. ALL SITE EROSION AND SEDIMENT CONTROL MEASURES AND BEST MANAGEMENT PRACTICES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL BE CONTINUOUSLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION (SEE THE STORMWATER POLLUTION PREVENTION MAINTENANCE SCHEDULE FOR ADDITIONAL INFORMATION). CONTRACTOR SHALL MAKE AND COMPLETE THE REQUIRED REPAIRS WITHIN FORTY-EIGHT (48) HOURS OF THE INSPECTION.
- 5.2. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL STRUCTURAL CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE SITE INSPECTIONS.
- 5.3. PERFORM STREET CLEANING OPERATIONS AND OTHER BEST MANAGEMENT PRACTICES AS NEEDED.
6. PERFORM SITE CLEARING AND GRUBBING AND REMOVE EXISTING VEGETATION AS NEEDED FOR INITIAL SITE GRADING OPERATIONS. VEGETATED SITE AREAS THAT ARE NOT INCLUDED WITH THE INITIAL GRADING SHALL REMAIN UNDISTURBED. ALL TOPSOIL STOCKPILES SHALL BE SURROUNDED WITH SILT FENCE AND STABILIZED WITHIN THREE (3) DAYS OF FORMING THE STOCKPILE.
7. REMOVE ALL ITEMS NOTED FOR REMOVAL IN THE DEMOLITION PLAN.
8. PERFORM ROUGH GRADING OPERATIONS, CONSTRUCT OVERFLOW ROUTES, AND STABILIZE ALL DISTURBED AREAS, INCLUDING BUT NOT LIMITED TO STEEP SLOPES, DRAINAGE CHANNELS AND SHALES (I.E. TEMPORARY AND PERMANENT SEEDING, EROSION CONTROL BLANKETS, RIP-RAP, CHECK DAMS, TEMPORARY DRAINAGE DIVERSIONS, ETC.).
9. INSTALL TEMPORARY CONCRETE WASHOUT FACILITY.
10. INSTALL BUILDING FOUNDATIONS.
10. PROVIDE TEMPORARY SEEDING AND/OR MULCHING FOR ALL DISTURBED SITE AREAS THAT WILL NOT BE WORKED ON FOR MORE THAN FOURTEEN (14) DAYS.
12. REMOVE TEMPORARY SITE EROSION AND SEDIMENT CONTROL MEASURES WITHIN THIRTY (30) DAYS OF FINAL SITE STABILIZATION.

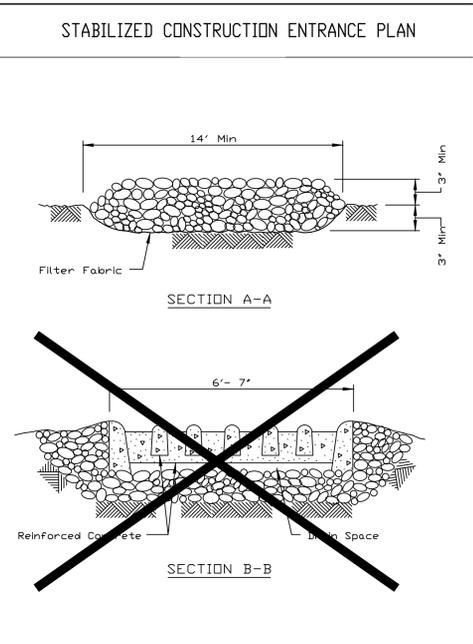


REFERENCE Project	DATE	DESIGNED Date	DATE	CHECKED Date	DATE	APPROVED Date	DATE
U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE ILLINOIS STANDARD DWG. NO. IL-630 SHEET 1 OF 2 DATE 8-18-94							



- NOTES:**
1. Filter fabric shall meet the requirements of material specification 592 GEOTEXTILE, Table I or 2, Class I, II or IV and shall be placed over the cleared area prior to the placing of rock.
  2. Rock or retained concrete shall meet one of the following IDOT coarse aggregate gradation, CA-1, CA-2, CA-3 or CA-4 and be placed according to construction specification 25 RDCKFILL using placement Method 1 and Class III compaction.
  3. Any drainage facilities required because of washing shall be constructed according to manufacturers specifications.
  4. If wash racks are used they shall be installed according to the manufacturers specifications.

**DETAIL - STABILIZED CONSTRUCTION ENTRANCE**  
NOT TO SCALE

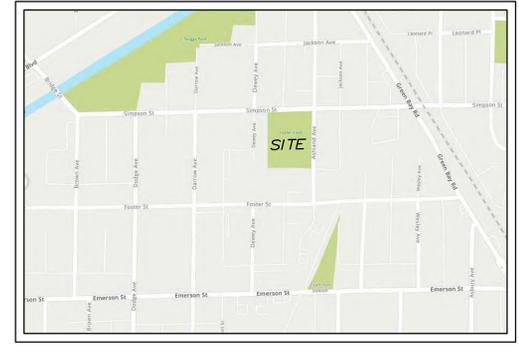


REFERENCE Project	DATE	DESIGNED Date	DATE	CHECKED Date	DATE	APPROVED Date	DATE
U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE ILLINOIS STANDARD DWG. NO. IL-630 SHEET 2 OF 2 DATE 8-18-94							

# EXHIBIT C - SITE CLEARING AND ENABLING PACKAGE

# BOUNDARY & TOPOGRAPHIC SURVEY

LOTS 1, 2 AND 3 IN FOSTER FIELD RESUBDIVISION OF PARTS OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 13, TOWNSHIP 41 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 13, 1983 AS DOCUMENT 26640069.



### SURVEY NOTES:

- SITE BENCHMARK #1 - CROSS CUT ON THE BURY BOLT OF THE FIRE HYDRANT LOCATED AT THE SOUTHWEST CORNER OF SIMPSON STREET & ASHLAND AVENUE. ELEVATION=598.13' (NAVD88) SEE SHEET SUR-2 FOR LOCATION.
  - SITE BENCHMARK #2 - CROSS CUT ON THE SOUTHEAST FLANGE BOLT OF THE FIRE HYDRANT LOCATED AT THE SOUTHWEST CORNER OF SIMPSON STREET & DEWEY AVENUE. ELEVATION=597.13' (NAVD88) SEE SHEET SUR-2 FOR LOCATION.
  - SITE BENCHMARK #3 - CROSS CUT ON THE SOUTHEAST FLANGE BOLT OF THE FIRE HYDRANT LOCATED ON THE EAST SIDE OF DEWEY AVENUE, JUST NORTH OF THE CUL-DE-SAC. ELEVATION=597.48' (NAVD88) SEE SHEET SUR-3 FOR LOCATION.
- FOR CITY OF EVANSTON DATUM SUBTRACT 579.98' FROM ALL ELEVATIONS.
- CITY OF EVANSTON SOURCE BENCHMARK #39, BEING A ROD WITH A CAP LOCATED ON THE NORTH SIDE OF SIMPSON STREET, APPROX. 1000' WEST OF DEWEY AVENUE. ELEVATION=18.10' (CITY OF EVANSTON DATUM) OR 598.08' (NAVD88)
- THE LOCATION OF UNDERGROUND UTILITIES WAS DETERMINED BY FIELD OBSERVATION AND VISIBLE MARKINGS ONLY.
  - FIELD WORK COMPLETED ON SEPTEMBER 8, 2022
  - PROPERTY AREA: 6.874 ACRES (299,432 SQUARE FEET)
  - PERMANENT INDEX NUMBER (P.I.N. #): 10-13-201-026, 10-13-201-027, 10-13-201-028.
  - SURVEY PREPARED WITHOUT THE AID OF A TITLE REPORT, REFER TO A CURRENT TITLE REPORT, DEED AND LOCAL CODES FOR ANY EASEMENT, BUILDING SETBACKS AND OTHER LOCAL RESTRICTIONS NOT SHOWN HEREON.
  - PROPERTY DESCRIPTION SHOWN ABOVE WAS TAKEN FROM QUIT CLAIM DEED RECORDED DECEMBER 27th, 1991 PER DOCUMENT NUMBER 91681354.
  - ACCORDING TO OUR INTERPOLATION OF THE FLOOD INSURANCE RATE MAP THIS SITE IS LISTED AS BEING IN A ZONE "X", DESCRIBED AS "AREAS OF MINIMAL FLOOD HAZARD" PER F.E.M.A. PANEL NO. 17031C0265J DATED AUGUST 19, 2008.
  - SURVEY PREPARED FOR: CORDOGAN, CLARK & ASSOCIATES.
  - THERE ARE NO BUILDINGS ON THE SURVEYED PROPERTY.
  - BASEIS OF BEARINGS IS TRUE NORTH BASED ON ILLINOIS STATE PLANE COORDINATE SYSTEM, ILLINOIS EAST 1201 ZONE.
  - ANY DISCREPANCIES FOUND WITHIN THIS DOCUMENT NEED TO BE REPORTED TO THE SURVEYOR AS SOON AS POSSIBLE.

STATE OF ILLINOIS )  
COUNTY OF COOK ) SS

WE THE WT GROUP DO HEREBY DECLARE THAT WE HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THIS PLAT IS A CORRECT REPRESENTATION OF SAID SURVEY. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY AND TOPOGRAPHIC SURVEY.

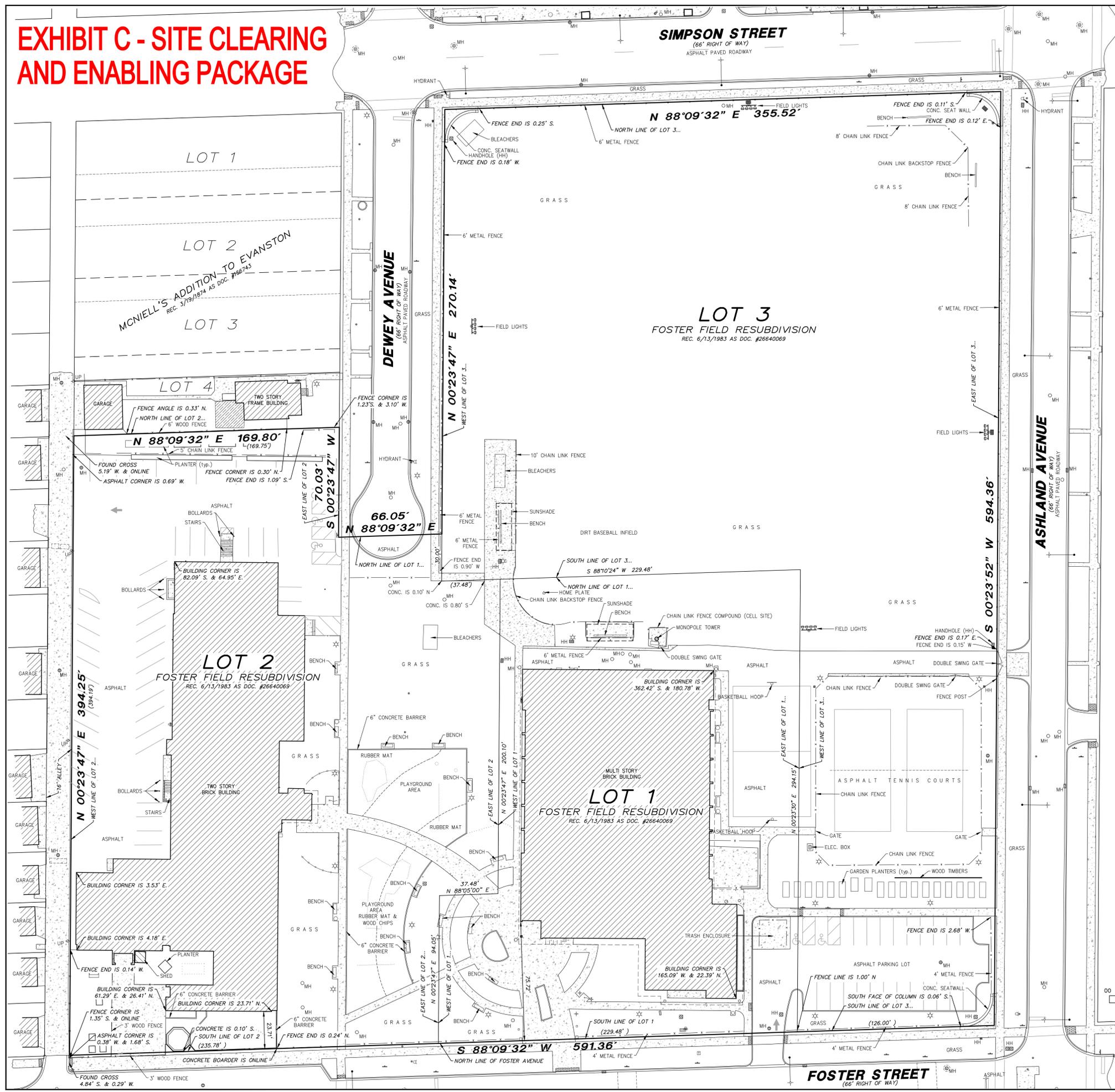
GIVEN UNDER OUR HAND AND SEAL THIS 6th DAY OF MARCH A.D. 2023 AT HOFFMAN ESTATES, ILLINOIS.

THE WT GROUP, LLC  
*Franjo I. Matijic*  
FRANJO I. MATIJIC - PLS #035-003556 EXPIRES 11/30/2024  
ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184.007570-0015



SEE SHEETS SUR-2, 3 & 4 FOR TOPOGRAPHIC SURVEY DATA AND BUILDING DIMENSIONS

LEGEND	
PROPERTY LINE	TOP FOUNDATION/THRESHOLD
CENTER LINE	TYPICAL SIGN
EASEMENT LINE	FLARED END SECTION
BUILDING SETBACK	CLOSED MANHOLE
RECORD DATA	OPEN GRATE MANHOLE
CONCRETE	BEEHIVE GRATE MANHOLE
EVERGREEN/DECIDUOUS WITH SIZE IN INCHES	GUTTER FRAME MANHOLE
SHRUB/SHRUB LINE	VALVE VAULT
MONITOR WELL	FIRE HYDRANT
UTILITY MARKINGS (cable, elec, fiber) (tel, water, gas)	B-BOX / SERVICE VALVE
MAILBOX	POST LIGHT/GROUND LIGHT
	AREA LIGHT/LIGHT POLE
	STREET LIGHT
	TRAFFIC SIGNAL
	MAST ARM SIGNAL
	HANDHOLE (electric, traffic)
	GAS METER
	ELECTRIC METER
	PEDESTAL (tele, elec, cable)
	SOIL BORING
	TYPICAL SIGN
	UTILITY POLE
	QUADRANT
	QUY WIRE ANCHOR
	CONTOUR LINE
	TREE LINE / HEDGE LINE
	EDGE GRAVEL/STONE
	FENCE LINE
	STORM SEWER
	SANITARY SEWER
	COMBO SEWER
	WATER SERVICE LINE
	WATER MAIN
	OVERHEAD LINE
	FIBER OPTIC LINE
	GAS LINE
	U.G. TELE. LINE
	U.G. ELECTRIC LINE



**WT GROUP**  
Engineering with Precision, Pace and Passion.  
2676 Palatin Avenue Hoffman Estates, IL 60192  
T: 224.293.6333 F: 224.293.6444  
www.wtgroup.com  
IL License No: 184.007570-0015 Expires: 04.30.2023  
© COPYRIGHT 2023 THE WT GROUP, LLC

**WT Group**  
Engineering • Design • Consulting

AQUATIC | CIVIL | MECHANICAL | ELECTRICAL | PLUMBING | TELECOMMUNICATION | STRUCTURAL | ACCESSIBILITY CONSULTING | DESIGN & PROGRAM MANAGEMENT | LAND SURVEY

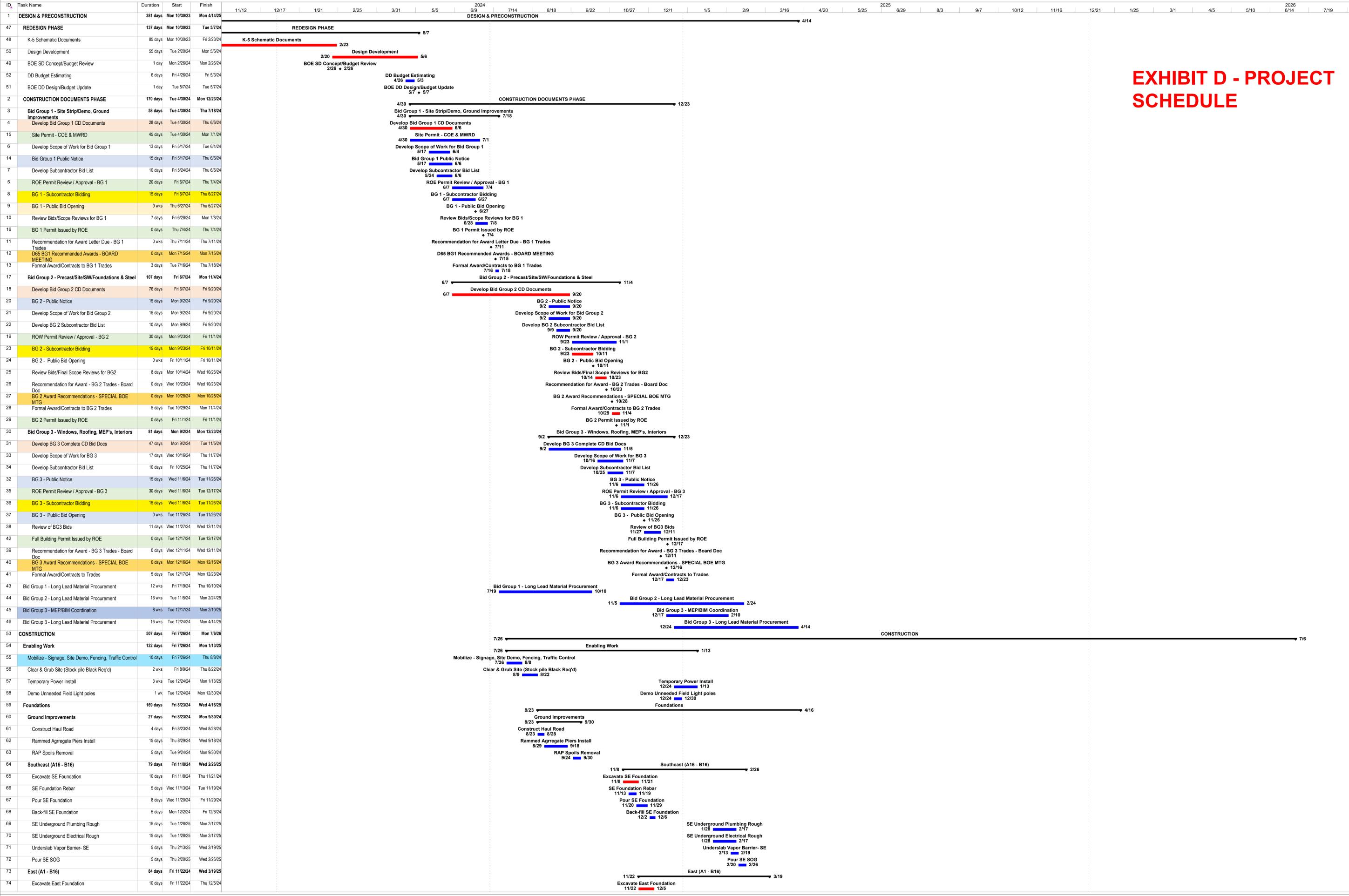
D65 NEW 5th WARD SCHOOL  
SWC SIMPSON ST & ASHLAND AVE  
EVANSTON, ILLINOIS

ISSUE

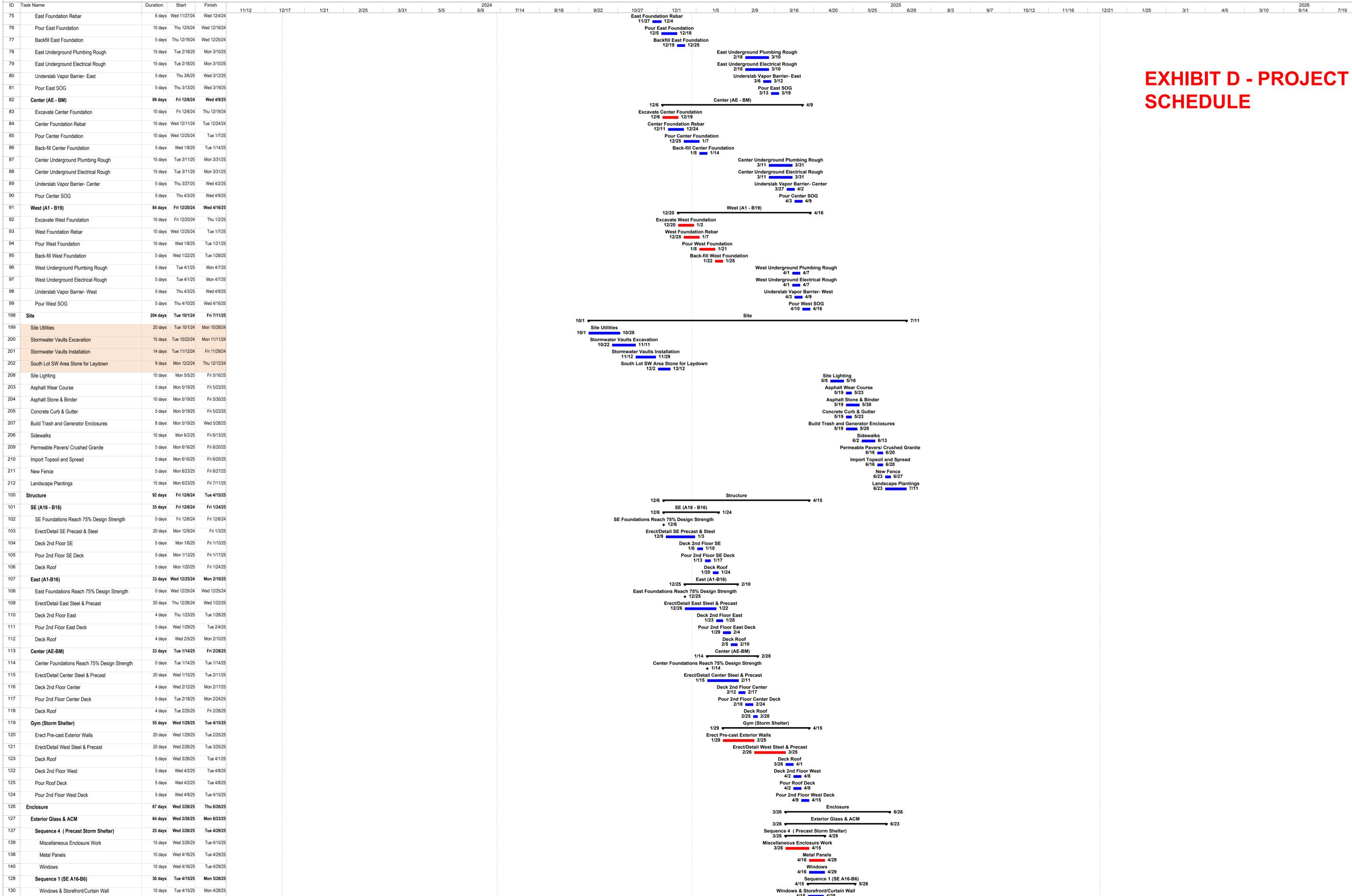
TO	DATE
CLIENT	5/4/22
CLIENT	10/4/22
CLIENT	2/13/23
CLIENT	3/6/23

CHECK: FIM  
DRAWN: MWO  
JOB: S2200034

**SUR-1**  
SHEET 1 OF 4  
BOUNDARY & TOPOGRAPHIC SURVEY

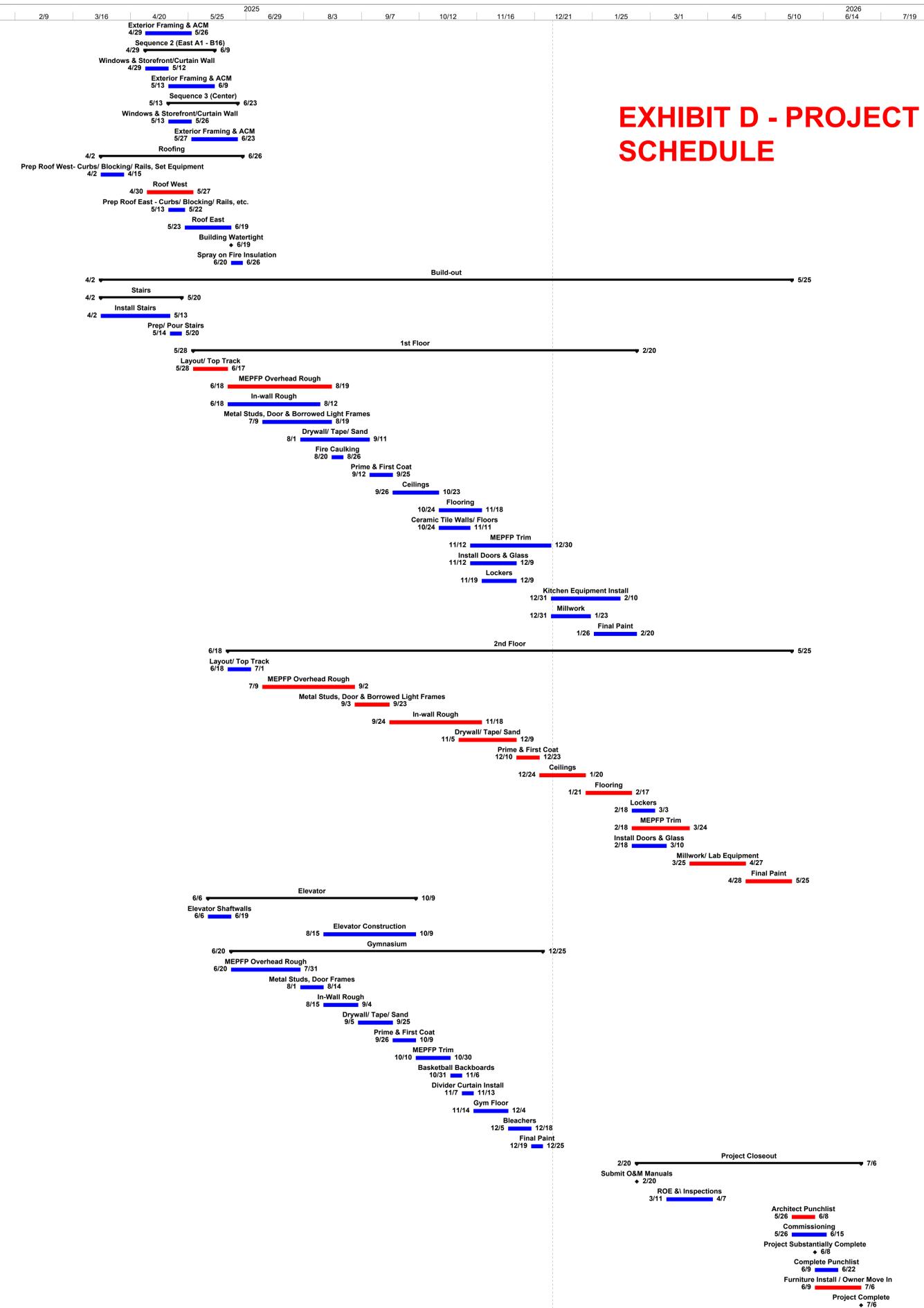


**EXHIBIT D - PROJECT SCHEDULE**

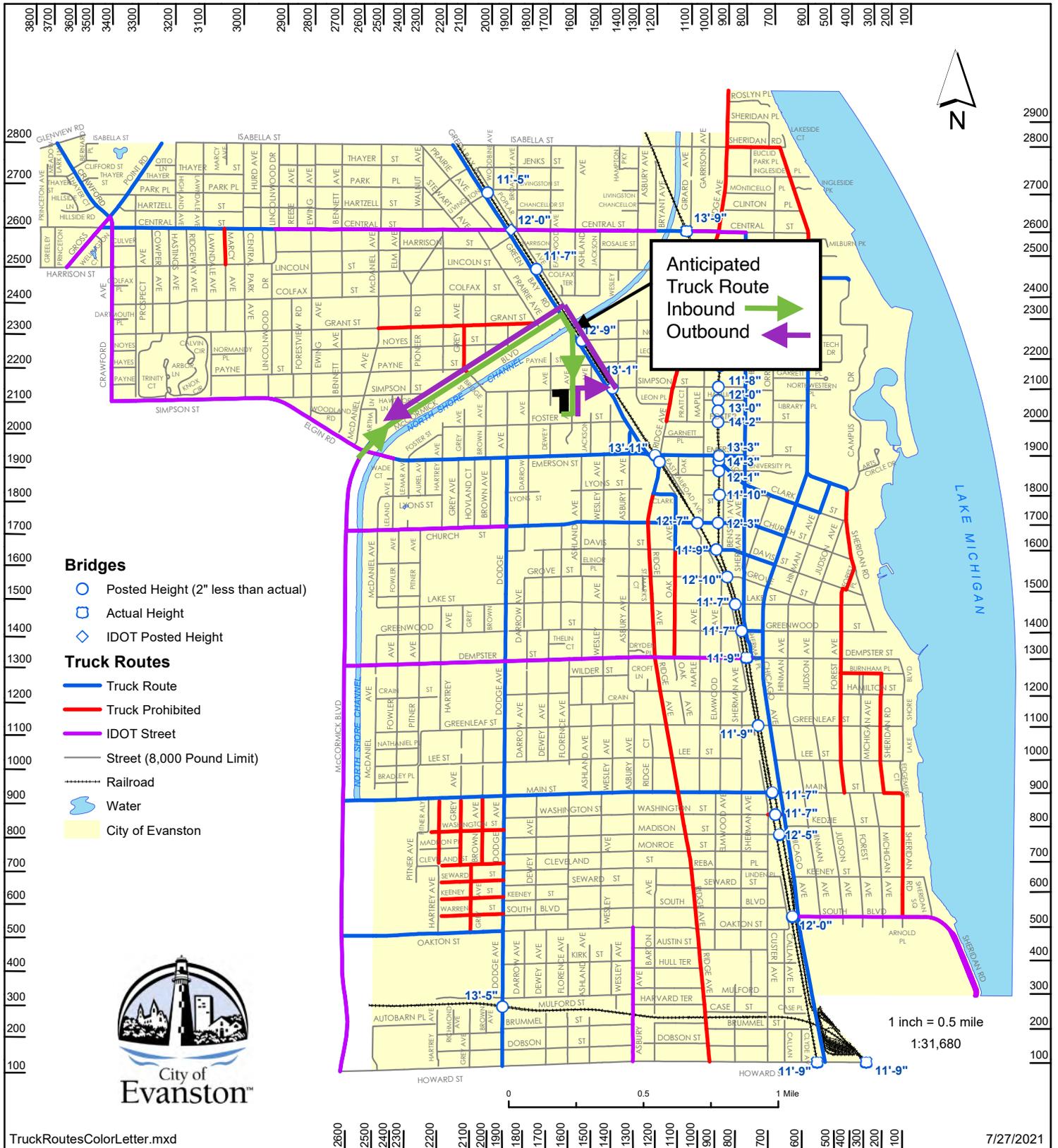


**EXHIBIT D - PROJECT SCHEDULE**

ID	Task Name	Duration	Start	Finish
129	Exterior Framing & ACM	20 days	Tue 4/29/25	Mon 5/26/25
131	Sequence 2 (East A1 - B16)	30 days	Tue 4/29/25	Mon 6/9/25
133	Windows & Storefront/Curtain Wall	10 days	Tue 4/29/25	Mon 5/12/25
132	Exterior Framing & ACM	20 days	Tue 5/13/25	Mon 6/9/25
134	Sequence 3 (Center)	30 days	Tue 5/13/25	Mon 6/23/25
136	Windows & Storefront/Curtain Wall	10 days	Tue 5/13/25	Mon 5/26/25
135	Exterior Framing & ACM	20 days	Tue 5/27/25	Mon 6/23/25
141	Roofing	62 days	Wed 4/2/25	Thu 6/26/25
144	Prep Roof West- Curbs/ Blocking/ Rails, Set Equipment	10 days	Wed 4/2/25	Tue 4/15/25
145	Roof West	20 days	Wed 4/30/25	Tue 5/27/25
142	Prep Roof East - Curbs/ Blocking/ Rails, etc.	8 days	Tue 5/13/25	Thu 5/22/25
143	Roof East	20 days	Fri 5/23/25	Thu 6/19/25
146	Building Watertight	0 days	Thu 6/19/25	Thu 6/19/25
147	Spray on Fire Insulation	5 days	Fri 6/20/25	Thu 6/26/25
148	Build-out	299 days	Wed 4/2/25	Mon 5/25/26
192	Stairs	35 days	Wed 4/2/25	Tue 5/20/25
193	Install Stairs	30 days	Wed 4/2/25	Tue 5/13/25
194	Prep/ Pour Stairs	5 days	Wed 5/14/25	Tue 5/20/25
149	1st Floor	193 days	Wed 5/28/25	Fri 2/20/26
150	Layout/ Top Track	15 days	Wed 5/28/25	Tue 6/17/25
151	MEPPF Overhead Rough	45 days	Wed 6/18/25	Tue 8/19/25
154	In-wall Rough	40 days	Wed 6/18/25	Tue 8/12/25
152	Metal Studs, Door & Borrowed Light Frames	30 days	Wed 7/9/25	Tue 8/19/25
155	Drywall/ Tape/ Sand	30 days	Fri 8/1/25	Thu 9/11/25
153	Fire Caulking	5 days	Wed 8/20/25	Tue 8/26/25
156	Prime & First Coat	10 days	Fri 9/12/25	Thu 9/25/25
157	Ceilings	20 days	Fri 9/26/25	Thu 10/23/25
158	Flooring	18 days	Fri 10/24/25	Tue 11/18/25
160	Ceramic Tile Walls/ Floors	13 days	Fri 10/24/25	Tue 11/11/25
161	MEPPF Trim	35 days	Wed 11/12/25	Tue 12/30/25
164	Install Doors & Glass	20 days	Wed 11/12/25	Tue 12/9/25
159	Lockers	15 days	Wed 11/19/25	Tue 12/9/25
162	Kitchen Equipment Install	30 days	Wed 12/31/25	Tue 2/10/26
163	Millwork	18 days	Wed 12/31/25	Fri 1/23/26
165	Final Paint	20 days	Mon 1/26/26	Fri 2/20/26
178	2nd Floor	244 days	Wed 6/18/25	Mon 5/25/26
179	Layout/ Top Track	10 days	Wed 6/18/25	Tue 7/1/25
180	MEPPF Overhead Rough	40 days	Wed 7/9/25	Tue 9/2/25
181	Metal Studs, Door & Borrowed Light Frames	15 days	Wed 9/3/25	Tue 9/23/25
182	In-wall Rough	40 days	Wed 9/24/25	Tue 11/18/25
183	Drywall/ Tape/ Sand	25 days	Wed 11/5/25	Tue 12/9/25
184	Prime & First Coat	10 days	Wed 12/10/25	Tue 12/23/25
185	Ceilings	20 days	Wed 12/24/25	Tue 1/20/26
186	Flooring	20 days	Wed 1/21/26	Tue 2/17/26
187	Lockers	10 days	Wed 2/18/26	Tue 3/3/26
188	MEPPF Trim	25 days	Wed 2/18/26	Tue 3/24/26
190	Install Doors & Glass	15 days	Wed 2/18/26	Tue 3/10/26
189	Millwork/ Lab Equipment	24 days	Wed 3/25/26	Mon 4/27/26
191	Final Paint	20 days	Tue 4/28/26	Mon 5/25/26
195	Elevator	90 days	Fri 6/6/25	Thu 10/9/25
196	Elevator Shaftwalls	10 days	Fri 6/6/25	Thu 6/19/25
197	Elevator Construction	40 days	Fri 8/15/25	Thu 10/9/25
166	Gymnasium	135 days	Fri 8/20/25	Thu 12/25/25
167	MEPPF Overhead Rough	30 days	Fri 8/20/25	Thu 7/31/25
168	Metal Studs, Door Frames	10 days	Fri 8/1/25	Thu 8/14/25
169	In-Wall Rough	15 days	Fri 8/15/25	Thu 9/4/25
170	Drywall/ Tape/ Sand	15 days	Fri 9/5/25	Thu 9/25/25
171	Prime & First Coat	10 days	Fri 9/26/25	Thu 10/9/25
172	MEPPF Trim	15 days	Fri 10/10/25	Thu 10/30/25
173	Basketball Backboards	5 days	Fri 10/31/25	Thu 11/6/25
175	Divider Curtain Install	5 days	Fri 11/7/25	Thu 11/13/25
174	Gym Floor	15 days	Fri 11/14/25	Thu 12/4/25
176	Bleachers	10 days	Fri 12/5/25	Thu 12/18/25
177	Final Paint	5 days	Fri 12/19/25	Thu 12/25/25
213	Project Closeout	96 days	Fri 2/20/26	Mon 7/6/26
214	Submit O&M Manuals	0 days	Fri 2/20/26	Fri 2/20/26
217	ROE & Inspections	20 days	Wed 3/11/26	Tue 4/7/26
215	Architect Punchlist	10 days	Tue 5/26/26	Mon 6/8/26
218	Commissioning	15 days	Tue 5/26/26	Mon 6/15/26
219	Project Substantially Complete	0 days	Mon 6/8/26	Mon 6/8/26
216	Complete Punchlist	10 days	Tue 6/22/26	Mon 6/22/26
220	Furniture Install / Owner Move In	20 days	Tue 6/9/26	Mon 7/6/26
221	Project Complete	0 days	Mon 7/6/26	Mon 7/6/26



# City of Evanston Truck Routes



This map is provided "as is" without warranties of any kind. See [www.cityofevanston.org/mapdisclaimers.html](http://www.cityofevanston.org/mapdisclaimers.html) for more information.

1. Overweight/oversize truck permits are required by the City of Evanston and IDOT.